

Welcome to 46 Chalet Lane



Nestled on a large lot along a private four-home lane, this six-year-old Marchand Homes split-entry offers an ideal blend of peaceful retreat and everyday convenience, located just eight minutes from Sackville Drive amenities and zoned for the highly regarded Beaver Bank-Monarch Drive Elementary School. The naturally bright main level showcases an inviting open-concept layout featuring a kitchen, living room, and dining area with a woodstove, heat pump, doors to the back deck, two bedrooms, and a full bathroom. Downstairs, the lower level includes a third bedroom, second full bath, cozy rec room, laundry closet, and large, fully finished walk-out space—originally planned as a garage but expertly customized into bright, windowed living space, currently used as a music room.

Outside, the private backyard serves as a serene sanctuary frequently visited by deer, owls, and other local wildlife, bordered by a gentle brook opposite the house. A French drain system directs rainwater away from the home for total peace of mind. Serviced by municipal water and a reliable gravity-fed septic system, this custom property delivers space, flexibility, privacy, natural light and nature right at your doorstep.

BUY WITH CONFIDENCE, SELL WITH SUCCESS!

Susan Eldridge | REALTOR® | 902-478-1928 | www.YourHalifaxRealtor.ca | susan@yourhalifaxrealtor.ca



Large open bright living room



Open concept kitchen / dining / living



Cozy woodstove & heat pump



This area gets a lot of natural light



Patio doors lead to large deck



Kitchen island adds cooking space



Lots of space on this deck



Primary bedroom on the main floor



Primary has a large walk-in closet



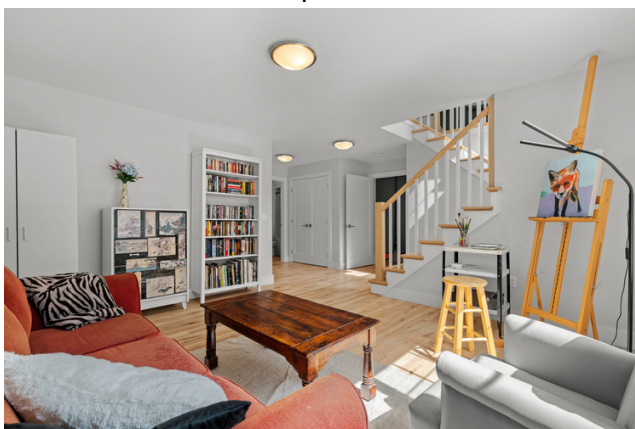
Second bedroom on the main floor



Lots of space here too!



Main floor full bathroom



Lower level rec room - nice and bright



Lower level third bedroom



Lower level full bathroom



Laundry closet is on the lower level



This fully finished room has 2 windows



It also has a walk-out - loads of options!



Huge driveway on quiet lane



Back of the house with deck



Shed in backyard



Private and nestled in trees



Birds, deer, bunnies, etc will visit you!



Imagine cozy evenings by the woodstove!

The following documents are attached:

- Property tax bill
- NS Power history
- Atlantic Home Warranty
- Building plans
- Septic certificate of installation
- Woodstove WETT Inspection
- Restrictive covenants
- Subdivision plan



Property Tax Bill

Interim 2026/27

Contact Us

Website: [Halifax.ca/taxes](https://halifax.ca/taxes)
Phone: 311
Email: contactus@311.halifax.ca

Assessment Account Number (AAN): 10194016

Property Legal Description: 46 CHALET LANE LOT 409 BEAVER BANK DWELLING

Customer Number: 1000160167

Assessed Owner(s):

Your Interim 2026/27 Tax Bill

Interim 2026/27 Taxes	\$1,628.13
-----------------------	------------

Interim 2026/27 Taxes	\$1,628.13
------------------------------	-------------------

Your Summary

Interim Taxes 2026/27	\$1,628.13
-----------------------	------------

Balance Due	\$1,628.13
--------------------	-------------------

Based on 50% of your estimated taxes (current year's assessment multiplied with proposed rate)

Need Help Paying Your Bill?

Call 311 or visit [Get help paying your property taxes](#) to learn about the residential tax exemption and deferral program.

Unsure How To Pay Your Bill?

The HRM offers flexible payment options including payment through online banking and pre-authorized payment plans. Scan the corresponding QR Code to learn more.



Please keep this bill for your records. Per By-law F-303, bill reprints will incur a charge of \$15 per request.

PLEASE DETACH AND RETURN WITH REMITTANCE

REMITTANCE PORTION - PAYABLE AT MOST FINANCIAL INSTITUTIONS

Bill Date	Due Date	Account #	PIN #	Amount Due	Amount Paid
Feb 28, 2026	Apr 30, 2026	41101940165	602000109736	1,628.13	



HALIFAX REGIONAL MUNICIPALITY

Please print change of mailing address below:

46 CHALET LANE
BEAVER BANK NS B4G 0B6

Billing and Usage History Report



Date: August 12, 2026

Service Address: 46 Chalet Lane
Breaver Bank NS

Equipment Leasing:

☒ NONE
☐ HEAT PUMP
☐ ELECTRIC THERMAL STORAGE (ETS)
☐ HOT WATER HEATER

Estimated Balance: *
\$
\$
\$

* Estimate Only. Before HST. Payout balance may differ.

Equipment Rental:

☒ NONE
☐ STREET LIGHT

Monthly Rate:
\$

Comments:

Note:

Year	Month	Days	Usage	\$Billed	Year	Month	Days	Usage	\$Billed
2026	Aug		0	\$ -	2025	Aug		1,475	\$ 312.11
	Jul		0	\$ -		Jul		0	0
	Jun	59	1339	\$ 295.80		Jun		1,592	\$ 333.83
	May		0	0		May		0	\$ -
	Apr	62	2572	\$ 506.11		Apr	57	2,415	\$ 486.59
	Mar		0	\$ -		Mar		0	\$ -
	Feb	63	3563	687.82		Feb	61	3,856	\$ 735.06
2026	Jan		0	\$ -	2025	Jan		0	\$ -
	Dec	58	2584	\$ 517.96		Dec	59	2,971	\$ 564.30
	Nov		0	\$ -		Nov		0	\$ -
	Oct	127	4695	\$ 340.52		Oct	62	1,616	\$ 324.42
2025	Sep		0	\$ -	2024	Sep		0	\$ -

	Usage	Billed		Usage	Billed
Total:	14,753	\$ 2,348.21	Total:	13,925	\$ 2,756.31

15 Oland Cres., Halifax, NS. B3S 1C6
Phone: 902-450-9000 or 1-800-320-9880
Fax: 902-450-5454
Email: info@ahwp.org

R: 01-9211

H: 10150554

7 Year Limited Warranty

CERTIFICATE OF POSSESSION
(This is not a Warranty Certificate)

Builder Name: Marchand Homes

New Home Address: 46 Chalet Lane City & Province: Beaver Bank NS

Lot OR Job Number: 409 Type of Dwelling: Detached

THE BUILDER AND HOMEOWNER CERTIFIES TO ATLANTIC HOME WARRANTY (AHW) THAT:

1. The Home described on this Certificate of Possession was substantially completed by the Builder;
2. The builder and homeowner have inspected the home and the Date of Possession declared below is accurate

SUB-TRADE LIST - BUILDER TO COMPLETE:

Foundation: STEVE CRETE Foundation

Electrical: G.B. ELECTRIC

Siding: SHAWN AUGER Siding

Drywall: Phil Rono Drywall

Roofing: AudeThor, Petrice Roofing

Flooring: WICKES & FLETCHER Flooring

Other:

Windows & Doors: KOLLE (PACANTS)

Framing: Robert Framing

Plumbing: Anchor Plumbing

Ventilation: PRESIDENTIAL VENTILATION

Heating: ELECTRIC & MINI SPLIT

Other: DECKS (SANDY BARRON).

Other:

HOMEOWNER & BUILDER TO COMPLETE -

Atlantic Home Warranty does not provide warranty on nor guarantee completion of construction items not finished on the date of possession and listed below:

HOMEOWNER & BUILDER TO COMPLETE:

TYPE OF WARRANTY:

FULL ☒

PARTIAL ☐

IF A PARTIAL WARRANTY THE BUILDER WILL DETAIL ITEMS INCLUDING MATERIAL & WORKMANSHIP SUPPLIED BY THE HOMEOWNER. AHW DOES NOT COVER defects in materials, appliances, design and workmanship supplied by the Homeowner, and any resultant damage to the Home.

HOMEOWNER(S):

Please Print Clearly

DATE OF POSSESSION:

Dec. 16/20

PHONE:

MAILING ADDRESS:

46 Chalet Lane

POSTAL CODE:

B4G 0B6

EMAIL ADDRESS:

(AHW will survey your opinion of your new home by email, 1 year from now)

We agree that all the information provided on this form may be used and disclosed by AHW for the administration of AHW including for all warranty matters and claims, and for advising financial institutions, if requested, whether the dwelling is covered by an AHW warranty. AHW will provide a copy of its Privacy Policy upon request.

Builder Signature

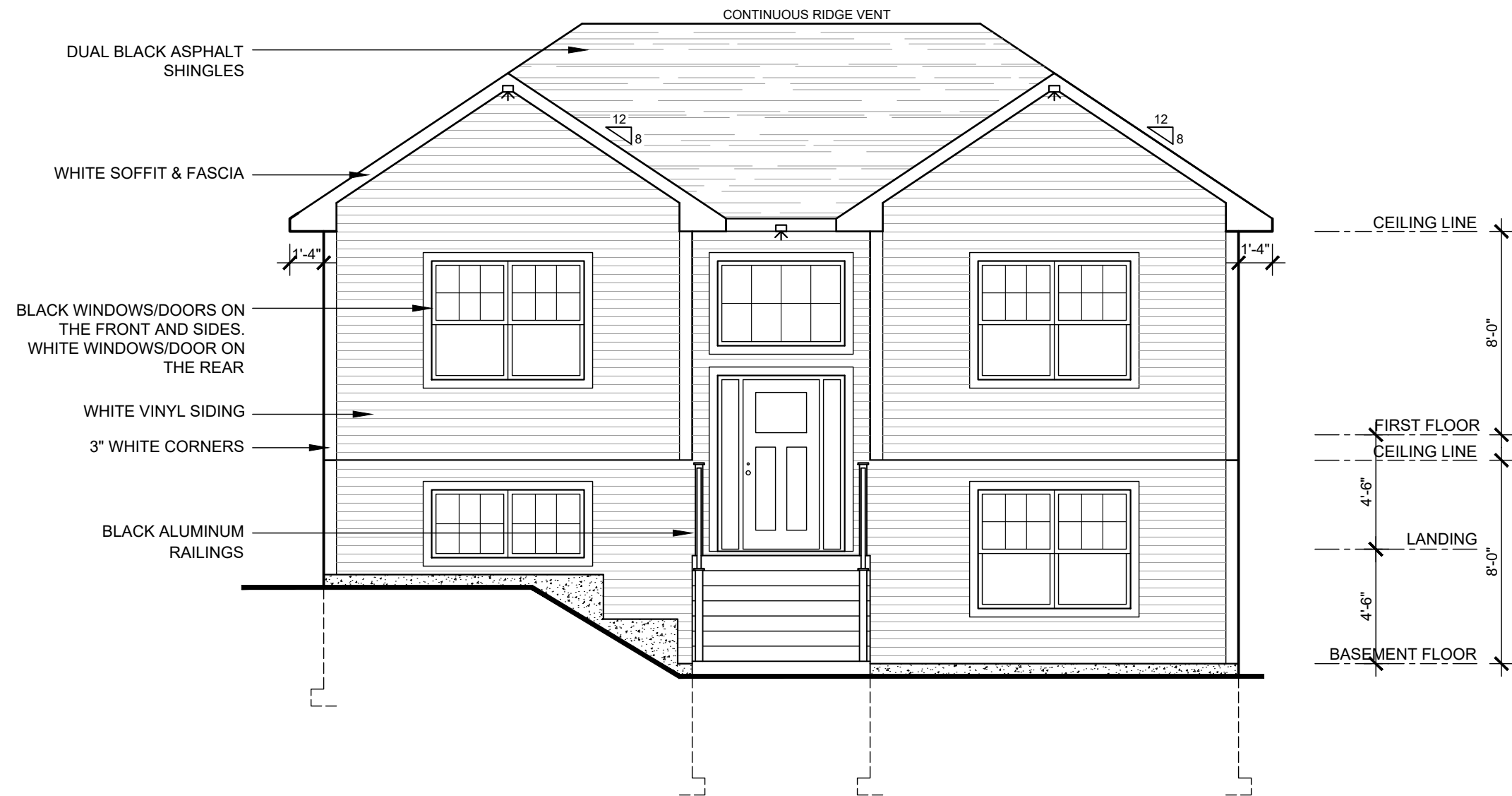
Homeowner Signature

Date

Date

Dec. 14/20

ONE SIGNED COPY OF THIS CERTIFICATE OF POSSESSION MUST BE RETURNED TO AHW BEFORE THIS WARRANTY IS VALID



GENERAL NOTES

- THESE PLANS ARE EXCLUSIVE PROPERTY OF MARCHAND HOMES LTD. AND ARE NOT TO BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT OF MARCHAND HOMES LTD.
- THIS BUILDING IS TO BE CONSTRUCTED IN ACCORDANCE WITH CURRENT LOCAL AND NATIONAL BUILDING CODES AND BYLAWS.
- SITE CONDITIONS VARY AND MAY CAUSE CHANGES TO PLANS / ELEVATIONS. MARCHAND HOMES LTD RESERVES THE RIGHT TO ALTER PLANS WITHOUT WRITTEN CONSENT OF THE PURCHASERS IF THESE SITUATIONS OCCUR.
- THESE PLANS ARE NOT TO SCALED. REFER TO DIMENSIONS ON PLANS.
- BUILDING CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL STRUCTURAL COMPONENT SIZES.


**MARCHAND
HOMES**
INFO@MARCHANDHOMES.CA | 902-225-4662
MARCHANDHOMES.CA

DRAWING:

FRONT ELEVATION

PROPERTY:

'LOT #409 CHALET
LANE'

DRAWN BY:

M.BREWSTER

DATE:

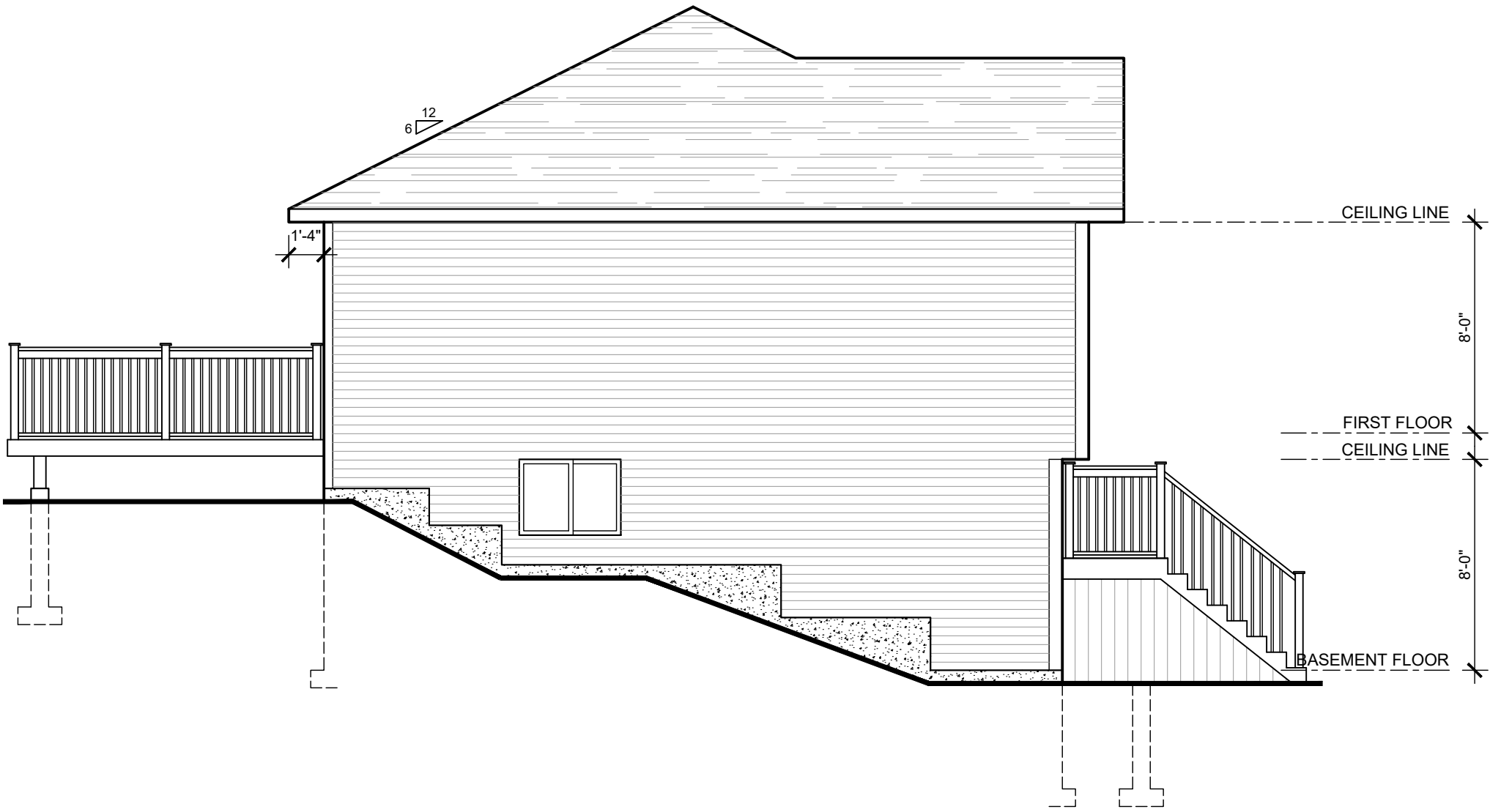
JUNE 18, 2020

SCALE:

3/16" = 1'-0" PLANS
3/16" = 1'-0" ELEVATIONS

SHEET:

1 OF **6**



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MARCHAND HOMES
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MARCHANDHOMES.CA

DRAWING:

LEFT ELEVATION

PROPERTY:

'LOT #409 CHALET LANE'

DRAWN BY:

M.BREWSTER

DATE:

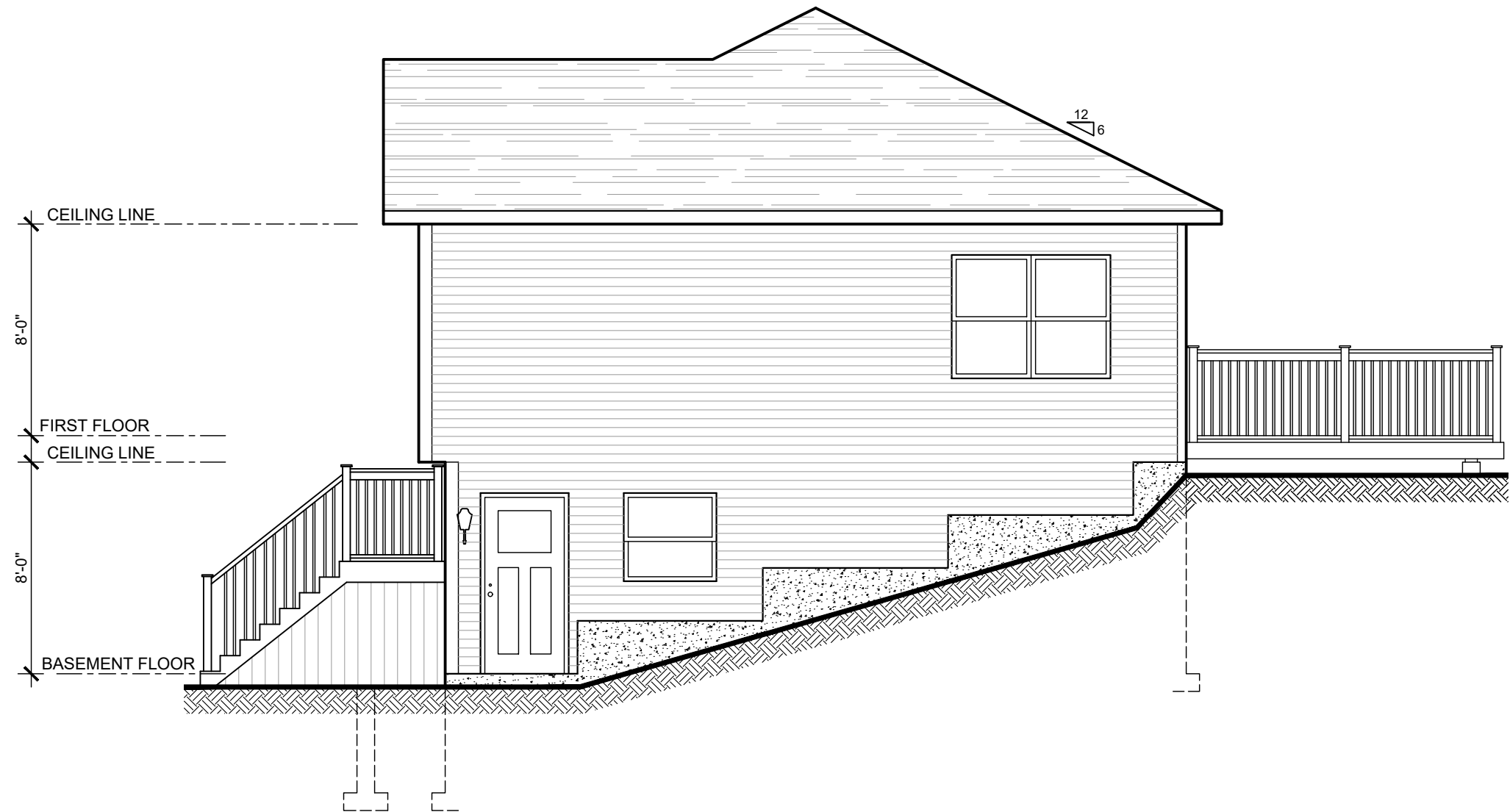
JUNE 18, 2020

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SHEET:

2 OF **6**



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**MARCHAND
HOMES**

INFO@MARCHANDHOMES.CA | 902-225-4662
MARCHANDHOMES.CA

DRAWING:

RIGHT ELEVATION

PROPERTY:

'LOT #409 CHALET
LANE'

DRAWN BY:

M.BREWSTER

DATE:

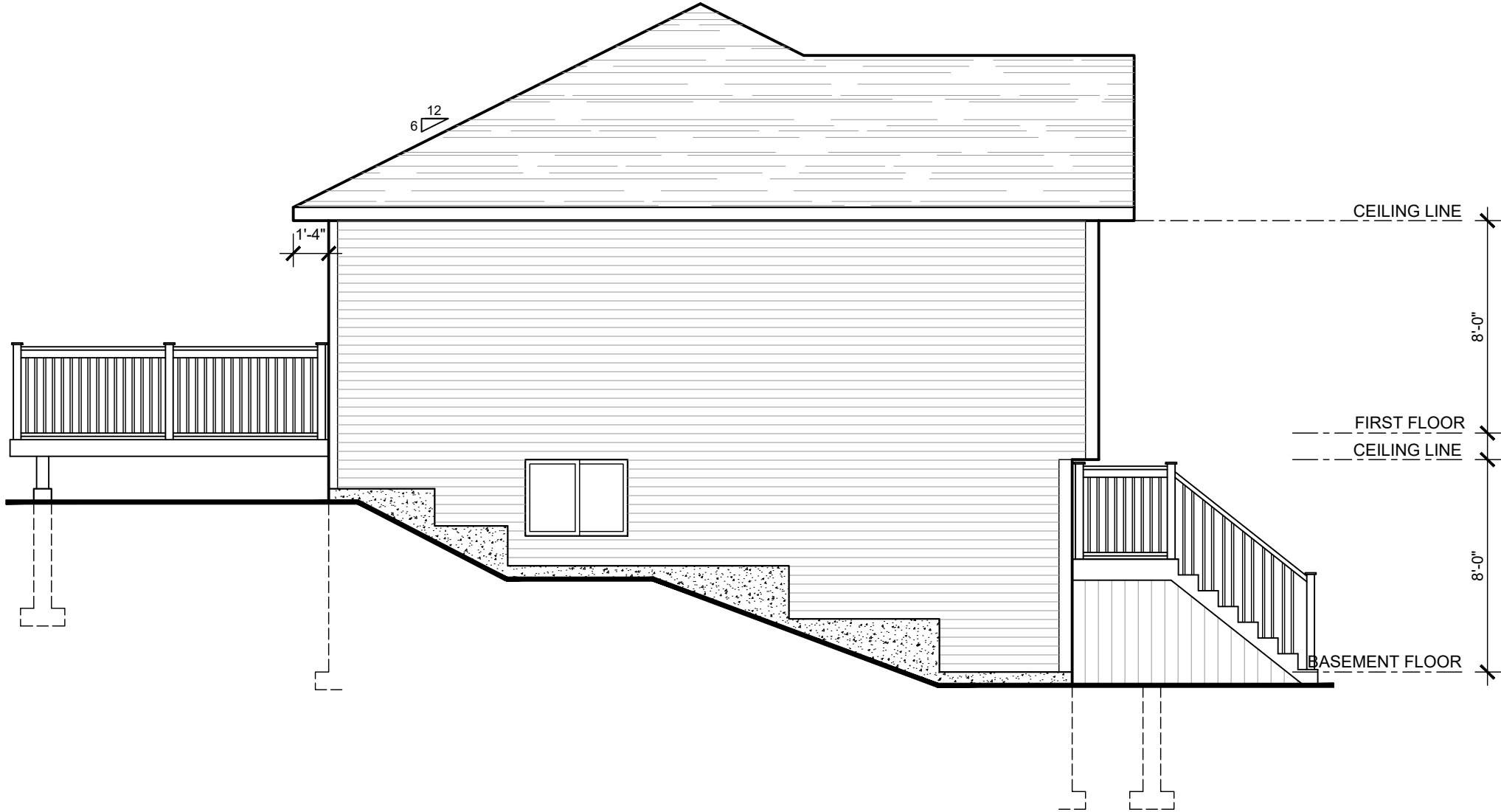
JUNE 18, 2020

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3/16" = 1'-0" PLANS
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SHEET:

3 OF **6**



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**MARCHAND
HOMES**

INFO@MARCHANDHOMES.CA | 902-225-4662
MARCHANDHOMES.CA

DRAWING:

REAR ELEVATION

PROPERTY:

'LOT #409 CHALET
LANE'

DRAWN BY:

M.BREWSTER

DATE:

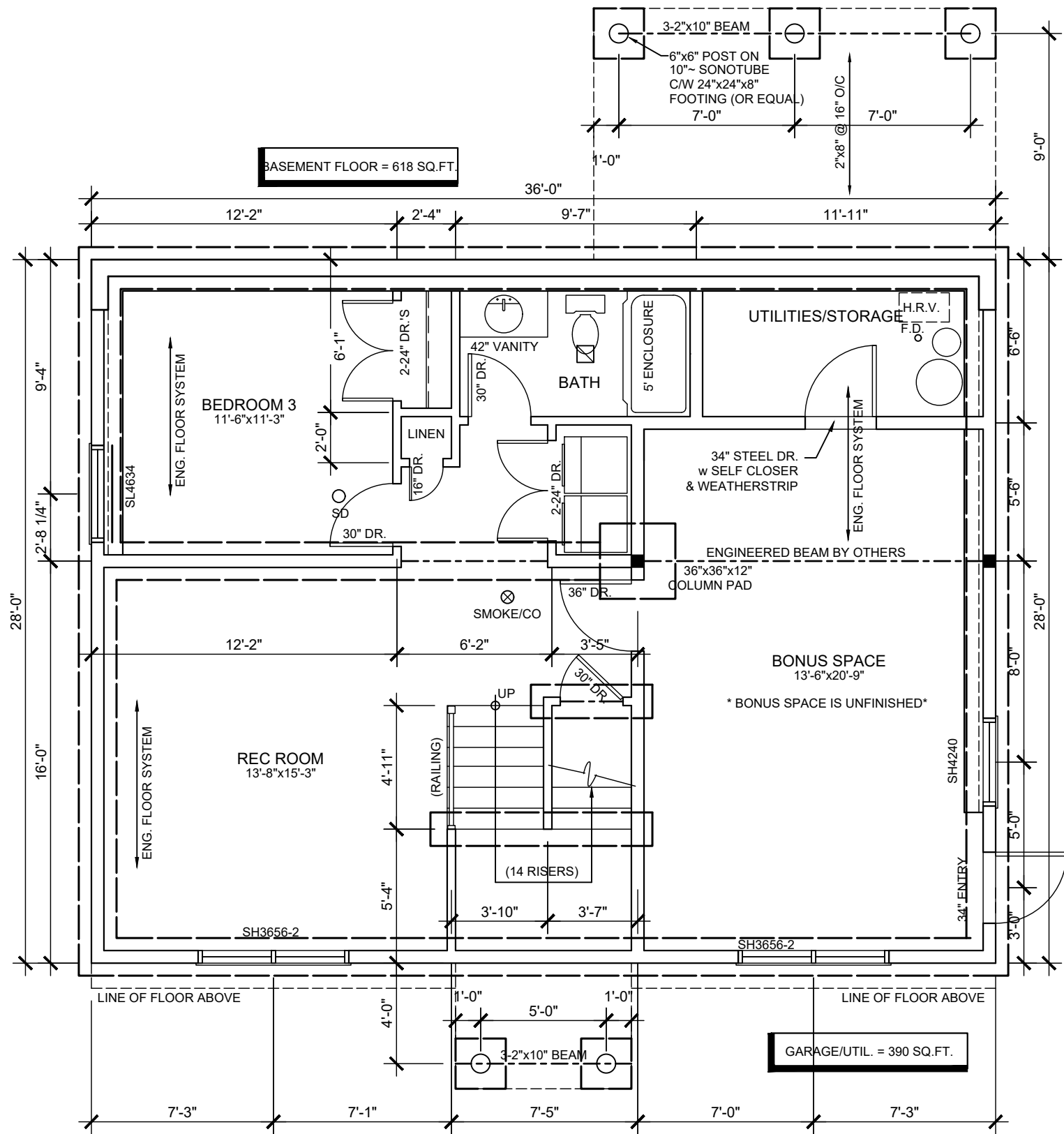
JUNE 18, 2020

SCALE:

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SHEET:

4 OF **6**



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MARCHANDHOMES.CA

DRAWING:

**BASEMENT
FLOOR PLAN**

PROPERTY:

'LOT #409 CHALET
LANE'

DRAWN BY:

M.BREWSTER

DATE:

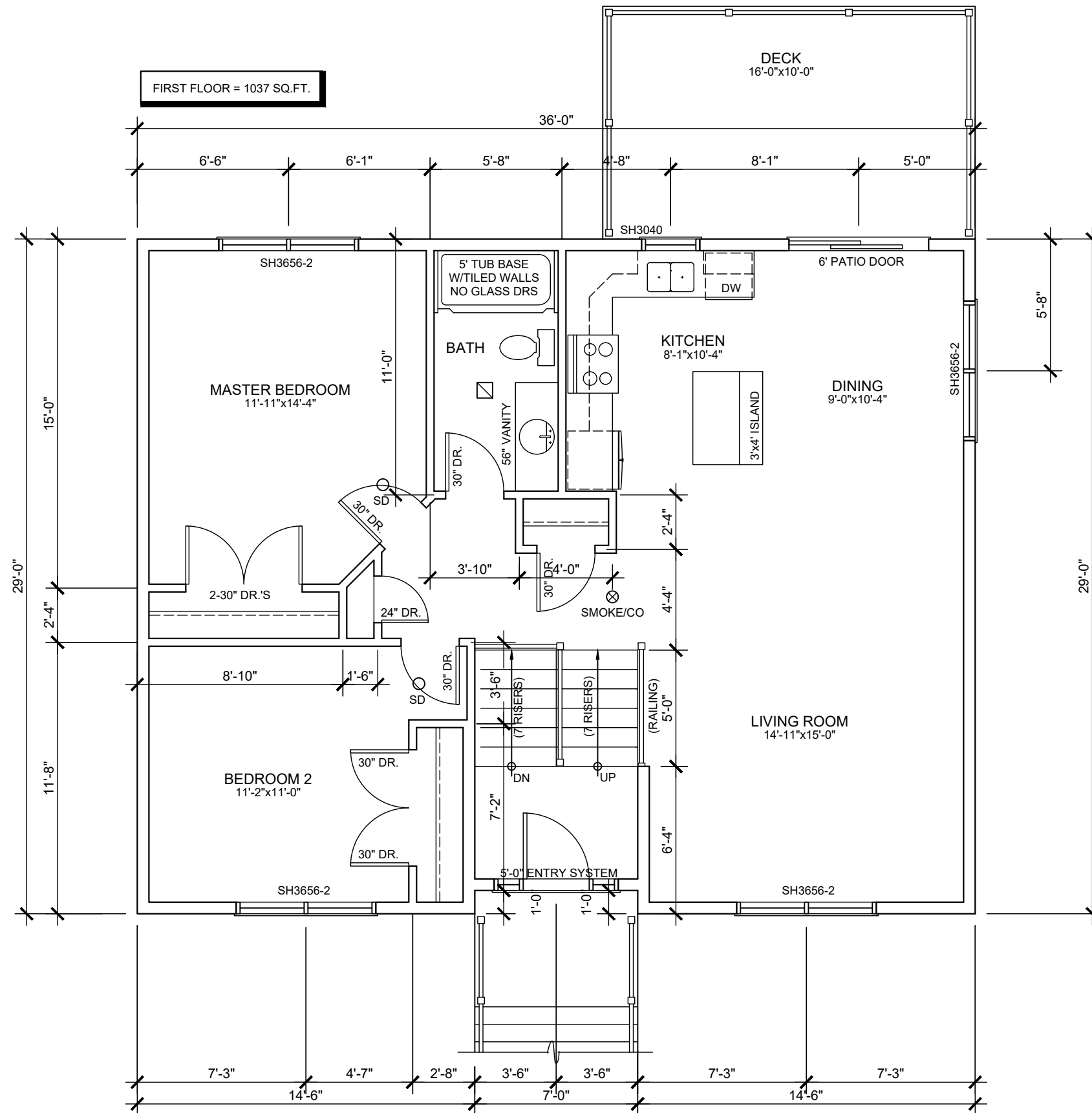
JUNE 18, 2020

SCALE:

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3/16" = 1'-0" ELEVATIONS

SHEET:

5 OF 6



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**MARCHAND
HOMES**
INFO@MARCHANDHOMES.CA | 902-225-4662
MARCHANDHOMES.CA

DRAWING:

MAIN FLOOR PLAN

PROPERTY:

'LOT #409 CHALET
LANE'

DRAWN BY:

M.BREWSTER

DATE:

JUNE 18, 2020

SCALE:

3/16" = 1'-0" PLANS
3/16" = 1'-0" ELEVATIONS

SHEET:

6 OF **6**

In keeping with the privacy provisions of the Nova Scotia Freedom of Information & Protection of Privacy Act, Nova Scotia Environment will only use the personal information for the purpose for which the information was obtained or compiled, or for a use compatible with that purpose.

☐ Interim report

CERTIFICATE OF INSTALLATION

☒ Final report

On-site sewage system as built construction details

☒ Notification number: 2019-2593441-00

Notification or Approval information:

☐ Approval number:

PID: 41284647 (Lot 409 CHALET LN)

Notifier or applicant (QP/P.Eng) TREVOR ADAMS

QP/.Eng Contact:

Telephone: 902-864-2267

Email: trevor.kvm@eastlink.ca

Installer contact:

Telephone: 902-789-3444

TRENT EISENHAUER

Email: trenteisenhauer@hotmail.com

Service provider:

Name: N/A

(for ATUs only)

Email: N/A

Telephone: N/A

System details

Design flow (L/day): 1000

Intended use: RESIDENTIAL

System type: SLOPING SAND FILTER

Length of trench (m): 15

Width of trench (m): 2

Sand speed(minutes): 2:15 @ 15° Hydraulic conductivity(m/s): 4×10^{-4}

As built clearance distances as illustrated on attached site plan

From Nearest	To Field	To Tanks	From Nearest	To Field	To Tanks	From Nearest	To Field	To Tanks
Lot Boundary	8 m	>3 m	Cistern	N/A m	N/A m	Water Distribution	7 m	>3 m
Downslope Boundary	9 m	>9 m	Watercourse	35 m	>30 m	Foundation Drain	7 m	1.5 m
Drilled Well	N/A m	N/A m	Wetland	N/A m	N/A m	Other	m	m
Dug Well	N/A m	N/A m	Intermittent Drain	N/A m	N/A m	Other	m	m

☒ I confirm that the system was installed according to the On-site Sewage Disposal System Regulations, Standard, and the associated notification or approval.

TREVOR ADAMS

Print name

Signature

15 Dec 2020

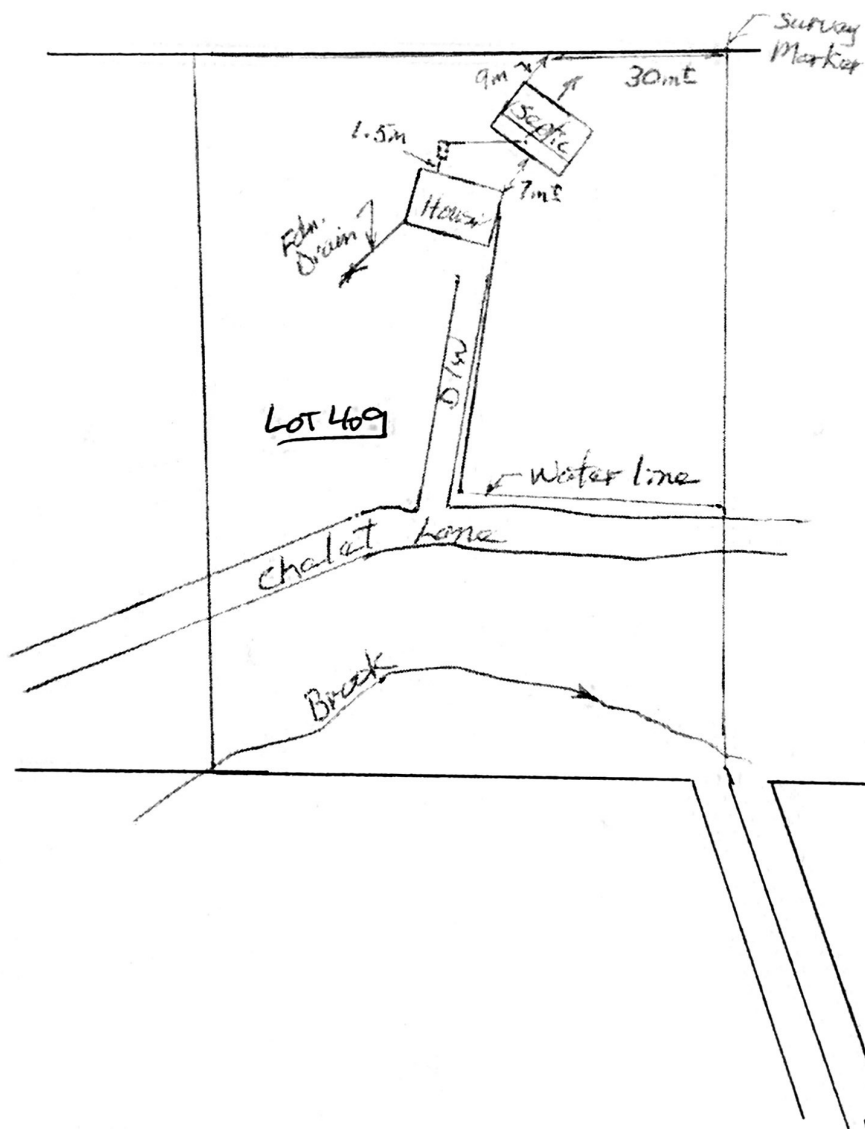
Date

CERTIFICATE OF INSTALLATION
On-site sewage system as built construction details

Site plan must include drawing of lot layout illustrating the location of the system installed, direction of and % slope, location of structures (proposed or existing), watercourse(s), well(s) and other confining features identified in the Standard including required clearance distances, in relation to the system location.

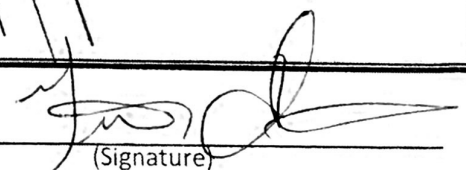
may include separate attachment for site plan

Note: Not to Scale.



DATE: 15 Dec 2020

Professional engineer or qualified person:


(Signature)

QP or P. Eng. #: 8136

TREVOR ADAMS
(Print name)



WETT RECOMMENDED INSPECTION CHECKLIST

Requested by:	Inspection location: ☒ Same as requested or:
Address: 46 Chalet Lane Beaver bank NS	Address: 1075 Riverside Drive Lower Sackville NS
Email:	Email: construction.rocksolid@gmail.com
Phone No.:	Phone No.: 902-441-1411
Inspector's name: Ryan Renshaw	10359 WETT No.:
Reason(s) for inspection: New Installation Insurance Purpose Efficiency Rebate	
Level of inspection requested:	☒ Level 1 ☐ Level 2 ☐ Level 3
Date of request:	Date of inspection: Dec 18 2020

Note: inspection results shown are what was present/noted at time of inspection.

This report documents findings at the time of the inspection. Compliance is referenced to currently published applicable codes and standards.



WETT RECOMMENDED INSPECTION CHECKLIST

WOOD STOVE AND FLUE PIPE

Certification Standard: ☒ ULC S627 ☐ EPA ☐ CSA B415 ☐ Uncertified ☐ Unknown

Listing Agency: ☐ ULC ☐ CSA ☐ WH/ETL ☐ OTL ☒ Other: PFS

Make: United states stove company **Model:** AW2020E **Serial #:** CH 1063-36

Installation manual available: ☒ Yes ☐ No **Flue Collar Size:** 6"

Alcove approved: ☒ N/A ☐ Yes ☐ No ☐ UTI

Mobile home approved: ☐ N/A ☒ Yes ☐ No ☐ UTI

Installed by: GoodFellas Stoves & Chimneys **Date:** Dec 18 2020 ☐ Unknown: _____

Installed in: ☒ Residence ☐ Mobile Home ☐ Combustible Alcove
☐ Garage ☐ Other: _____

Appliance location: ☐ Basement ☒ Main Floor ☐ Other (specify): _____

Connected to: ☐ Masonry chimney ☐ Masonry chimney with stainless steel liner
☒ Factory-built chimney ☐ Other (specify): _____

Does the unit share a venting system with another appliance: ☐ Yes ☒ No

Inspection Results: Indicate inspection results for each component. Code compliance includes proper use of listed components. N/A = Not Applicable UTI = Unable To Inspect.

All non-compliance ratings should be considered for comment.

An inspection at any level can be expected to include some components marked UTI.

CLEARANCES	REQUIRED	ACTUAL(S)	CODE COMPLIANCE
1. Combustible side wall	18"	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
2. Combustible rear wall	12"	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
3. Combustible corner	12"	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
4. Top / ceiling	84"	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
5. Shielding rear			☒ N/A ☐ Yes ☐ No ☐ UTI
6. Shielding right side			☒ N/A ☐ Yes ☐ No ☐ UTI

Wood Stove and Flue Pipe - page 2

7. Shielding left side			☒ N/A ☐ Yes ☐ No ☐ UTI
8. Shielding corner			☒ N/A ☐ Yes ☐ No ☐ UTI
9. Ember pad / material	Non combustible	Glass	☐ N/A ☒ Yes ☐ No ☐ UTI
10. Ember pad / front	18"	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
11. Ember pad / rear	8"	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
12. Ember pad / right side	8"	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
13. Ember pad / left side	8"	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
14. Ember pad / corner			☒ N/A ☐ Yes ☐ No ☐ UTI
15. Radiant heat protection / material			☒ N/A ☐ Yes ☐ No ☐ UTI
16.			
17.			
Flue Pipe Type: ☐ Single-wall ☒ Double-wall ☐ ULC S641 Diameter: 6"			
18. Clearances	6"	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
19. Total length	15ft	18 ft	☐ N/A ☒ Yes ☐ No ☐ UTI
20. Elbows	180>	0	☐ N/A ☒ Yes ☐ No ☐ UTI
21. Fastening	3 screws per conn	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
22. Allowance for expansion	1 1/4"	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
23. Flue pipe orientation	seams up/side	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
24. Flue pipe slope	1/4"per ft	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
25. Material	20 ga	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
26. Pipe shielding			☒ N/A ☐ Yes ☐ No ☐ UTI
27. Support	roof brace	yes	☐ N/A ☒ Yes ☐ No ☐ UTI
28.			
29.			
30.			
31. Connection to masonry chimney			☒ N/A ☐ Yes ☐ No ☐ UTI
32. Connection to factory-built chimney	ceiling connector kit	yes	☐ N/A ☒ Yes ☐ No ☐ UTI

OTHER CONSIDERATIONS	COMMENTS
33. Outdoor air connection	not required
34. Carbon monoxide alarm	yes
35. Smoke alarm	yes

Additional information:

Appliance installed to manufacturer installation instruction

Appliance "fired up" and operation explained to customer

Good draft at time of installation

Date: dec 18 2020

File Reference #: 46 chalet lane

File reference No.: 46 chalet lane

Photos taken: ☒ Yes ☐ No

This checklist contains _____ pages in total. This report contains 05 pages in total.

Comments and Observations:

All non-compliance ratings should be considered for comment.

Appliance meets WETT Code and is Certified to the 2020 EPA standard.

Please attach additional page(s) for this section.

Customer Signature:

Inspector Signature:



Digital Signature:

Date: Dec 18 2020

Date: Dec 18 2020

RAMAR DEVELOPMENTS LIMITED
SCHEDULE "B"
RESTRICTIVE DEED COVENANTS AND RESTRICTIONS
MONARCH ESTATES

1. The lands to which these covenants shall apply (hereinafter called the "said lands") include the lot described as Lot No. 401 to Lot 416 Inclusive, Galloway Drive & Kenneth Drive hereto annexed and conveyed by this deed.
2. "Garage" as used herein shall include structure used or to be used for the housing or protection of motor vehicles.
3. No building shall be erected on the said lands other than a detached private dwelling house to and for the use of a single family or detached single unit dwelling with auxiliary dwelling unit not to exceed 40% of the gross floor area of the dwelling (in-law suite) with or without an appropriate garage attached hereto. Detached garage may be permitted at the discretion of the Grantor.
4. No more than one dwelling house shall be erected or stand at one time upon the said lands.
5. No dwelling shall be erected or stand upon the said lands or any part thereof which shall have a ground floor area of less than:
 - (i) 1,200 square feet in the case of a one storey dwelling;
 - (ii) 1,000 square feet in the case of a dwelling of more than one storey but not a full two storeys;
 - (iii) 800 square feet in the case of a dwelling of two storeys or more provided that the total habitable floor area of any dwelling shall not be less than 1,600 square feet.

The measurements for calculations of the areas referred to in this paragraph number 5 shall be taken as the outside measurements of the main walls of each dwelling house, excluding garage, veranda, and sunroom.

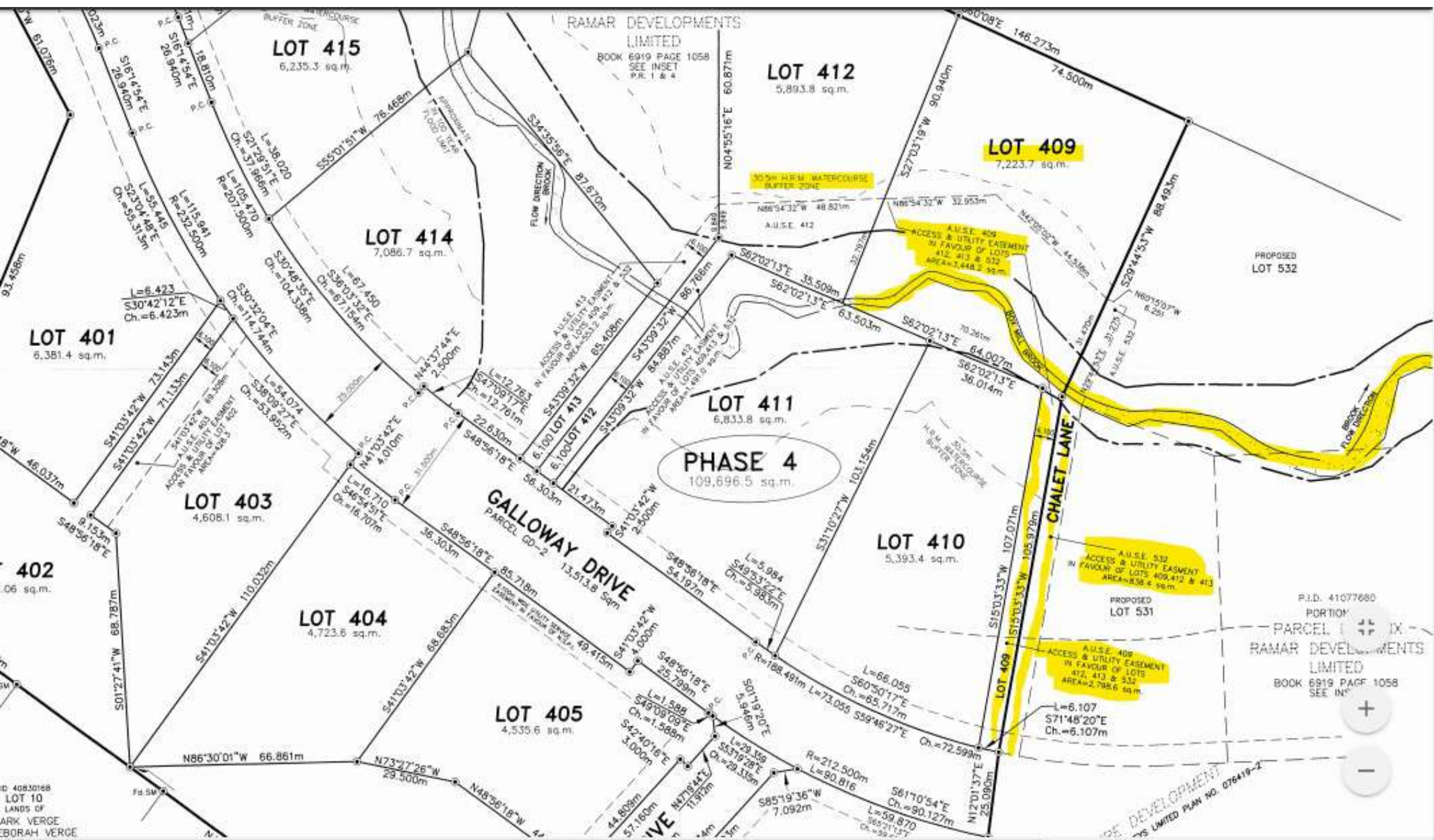
6. No building shall be erected on the said lands, or any addition or alteration shall be made thereto, unless the design of such building, addition or alteration and the plans therefore drawn by a duly qualified person shall be approved for general conformance to these restrictive covenants by the Grantor in writing.
7. Notwithstanding anything herein contained, no building, fence, or erection of any kind shall be on erected said lands unless the plans, dimensions, specifications and location thereof, as indicated by a siting plan (including the distance from the front, side and rear limits) shall have been first submitted to and approved in writing by the Grantor or the architect shall be constructed or placed on the said lands otherwise than in conformity with such plan specifications and siting plan.
8. No mud, debris, building materials or other matter shall be placed by the Grantee or those working or engaged on its behalf within the street right-of-way or on other lands not owned by the Grantee. If such mud and debris is deposited, it shall be removed by the Grantee within twenty-four (24) hours of receipt of a request to do so from the Grantor,

and if it is not so removed, then the Grantor may cause the mud or debris to be removed and recover the cost thereof from the Grantee.

9. The lands or any building erected, or to be erected thereon, shall not be used for the purpose of any profession, trade, employment, service, manufacturer or business of any description, nor as a school house, hospital or other charitable institution, nor as a hotel, apartment house, rooming house, or place of public resort, not for any sport (other than such games as are usually played in connection with the normal occupation of a private residence) nor for any other purpose than a private residence for the use of one family only to each dwelling unit, nor shall anything be done or permitted upon any of the said lands or building erected or to be erected thereon which shall be a nuisance to the occupants of any neighboring lands or buildings, unless approved under the Municipal By-laws, the Comprehensive Development Agreement and the grantor.
10. No fence shall be erected or maintained on the said lands or any part hereon other than an ornamental wire, iron or wooden fence of open construction, with or without brick or stone foundations, unless approved in writing by the Grantor and no such fence shall be higher than four feet (4'), or be situated within thirty feet (30') of the street line in front of the lot on which said fence is erected or within ten feet (10'), of any other street line. Screens for landscaping purposes may be erected upon written approval by the Grantor.
11. No signs, billboards, notices or other advertising matter of any kind (except the ordinary sign offering the said lands or buildings thereon for sale or rent) shall be placed on any part of the said lands or upon or in any buildings or on any fence, tree or other structure on the said lands without consent of the grantor.
12. No trailer other than for recreational purposes shall be parked or placed upon any part of the said lands.
13. No excavation shall be made on the said lands except excavation for the purpose of the building on same at the time of the commencement of such building or for the improvement of the gardens and grounds thereof. No soil, sand or gravel shall be removed from the said lands except with the prior permission of the Grantor.
14. No living tree shall be cut or removed from the said lands other than those standing within the area to be excavated for the erection of a building thereon without the consent in writing of the Grantor.
15. No building waste or other material of any kind shall be dumped or stored on the said lands except clean earth for the purpose of leveling in connection with the erection of a building thereon or the immediate improvement of the grounds.
16. No horses, cattle, hogs, sheep, poultry or other stock animals other than household pets normally permitted in private homes in urban residential areas shall be kept upon the said lands and no breeding of pets shall be carried on upon the said lands.
17. The Grantee will not withhold consent to the construction of sidewalks, pavements, sewers, water mains and other local improvements which may be petitioned by the Grantor, and the Grantee shall not withhold consent to the erection or installation and maintenance at the rear, front or side of any lot contained in the development of electric, telephone and/or television poles, lines and equipment and guys and anchors in

connection therewith, and underground cables all for common use with all necessary access from time to time for the employees of their person, firm or corporation persons, firms or corporations furnishing, maintaining and repairing the same.

18. The Grantor shall have the right to convey to the Municipality or other public authority any part of the development (other than the lands already conveyed) for park, recreational, or similar purposes.
19. The Grantee will not permit the condition of the surface of the said lands or any part thereof to be in such condition to be below the standards of landscaping of the surface of lots, which is normally found in a first class residential neighborhood. The Grantee shall be responsible for landscaping between the ditch or culvert and street line abutting this property. The front and side yards shall be fully landscaped and the rear yard shall be landscaped for a distance of twenty (20) feet from the rear of the dwelling. All landscaping of disturbed areas shall be erected or by way of hydro-seeding.
20. The Grantee shall meet any and all requirements imposed on his/her individual lot by the Nova Scotia Department of the Environment, including but not limited to:
 1. Access to each lot shall be restricted to one driveway. Prepare driveway with a layer of filter fabric covered with three (3") to six (6") inches of surge rock. Maintain rock surface during construction.
 2. Remove, and or, refrain from storing earthen fill material next to the curb. When at all possible, pile fill towards the rear and sides of the lot until needed for landscaping, cover fill with plastic sheeting or other material to protect from rainfall. Maintain soil stabilization measures until ready to sod.
 3. When de-watering foundations or pits, pump the water into vegetative section or through three (3) cubic yards of one inch (1") clean crushed stone.
21. No satellite dish or other external electronic receiving equipment shall be permitted on the property without approval of the Grantor.
22. Any damage to any of the municipal services which have been installed by or on behalf of the Grantor, caused by the Grantee, or by any person working or engaged on its behalf, shall be repaired at the expense of the Grantee. If the Grantee does not affect such repairs within a reasonable time upon receipt of notice from the Grantor, then the Grantor may repair the same and recover the cost thereof from the Grantee.
23. The Grantor may later, waive or modify any of the foregoing building and other restrictions without any notice to any of the other lot owners in the sub-division providing changes abide by the Comprehensive Development Agreement.
24. The grantee agrees and acknowledges that no subdivision of the lots shall be undertaken or permitted within the subdivision without prior written approval from the Grantor.



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Susan Eldridge
REALTOR[®]
Cell: 902-478-1928
susan@yourhalifaxrealtor.ca
www.YourHalifaxrealtor.ca
facebook.com/halifaxdartmouthhomes
Instagram: @YourHfxRealtor



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Susan Eldridge | REALTOR[®] | 902-478-1928 | www.YourHalifaxRealtor.ca | susan@yourhalifaxrealtor.ca