

Welcome to 28 Carmel Crescent in Fall River



Nestled in the heart of Fall River, this charming 22-year-old two-storey home offers the perfect balance of family-friendly living and outdoor adventure, located just steps from St. Andrew's Park with its playground and direct access to "A" Lake. Inside, the main floor boasts a spacious kitchen that flows seamlessly into an inviting family room anchored by a cozy propane fireplace. From here, step directly onto the 14' x 16' deck complete with a gazebo, ideal for summer relaxing. The main level also features a formal dining room, an office or TV room, a half bath, and a convenient mud / laundry room with direct access to the attached double car garage. Upstairs, you will find three comfortable bedrooms alongside a huge versatile loft over the garage, with the primary suite offering two walk-in closets and a private ensuite bath.

The full-height, unfinished basement presents an incredible blank canvas ready to expand your living space even further. Outdoors, the property excels with lovely gardens, a sweet custom-built 7' x 8' playhouse and a sturdy 10' x 16' Graves Barns shed for ultimate storage. Best of all, you are just five minutes from central Fall River's shops and restaurants, with top-rated schools and the local recreation centre only moments away.

BUY WITH CONFIDENCE, SELL WITH SUCCESS!

Susan Eldridge | REALTOR® | 902-478-1928 | www.YourHalifaxRealtor.ca | susan@yourhalifaxrealtor.ca



Lovely front garden



Double attached garage & Graves Barns shed



Main front entryway



Open & airy kitchen



Window over the sink



Lots of cabinets! Great for entertaining



Laundry room / mud room off garage



Half bath off laundry room



Dining room just off the kitchen



Living room with cozy propane fireplace



Office or den



Office or den has cabinets for storage



Second floor - primary bedroom



Virtual staged - this is a large room!



First full walk-in closet in primary



Second walk-in closet & ensuite bathroom



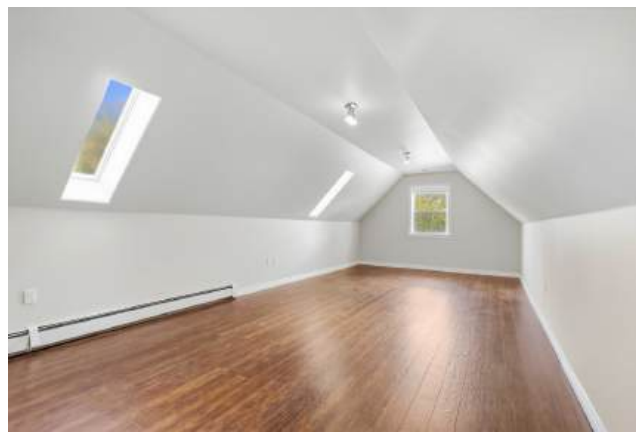
Ensuite has tiled shower & double sinks



Second bedroom - lots of light!



Third bedroom - looks over backyard



Huge loft or bonus room over garage!



Full unfinished basement



Oodles of opportunity for the basement!



Deck off the living room with gazebo



Custom-built playhouse next to Graves barn



Back of house with deck



Large gravel driveway with lots of parking!



Directly across the street is the park



St. Andrews Park with swingset



Good-sized playground with benches



Driveway to "A" Lake is across the street

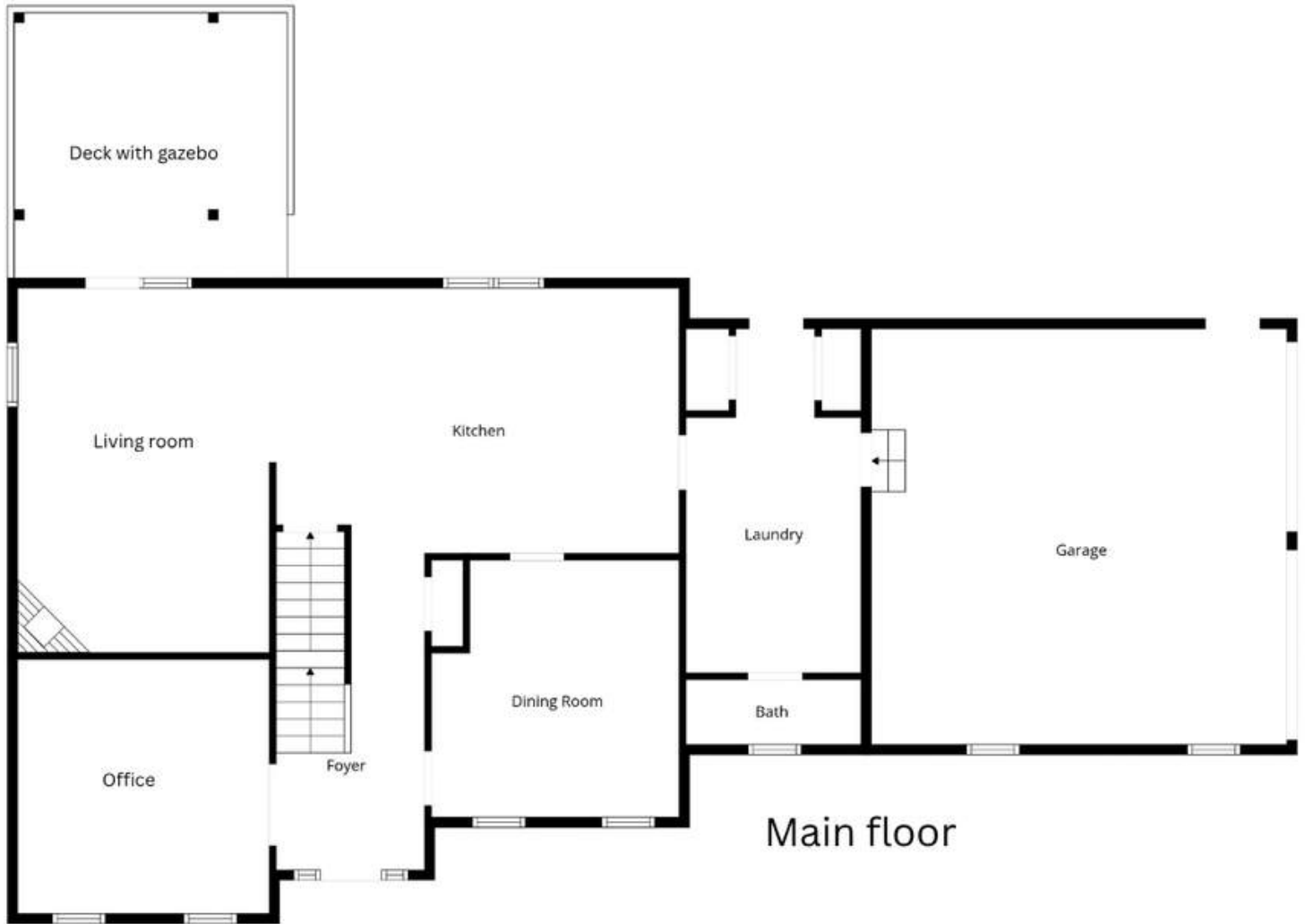


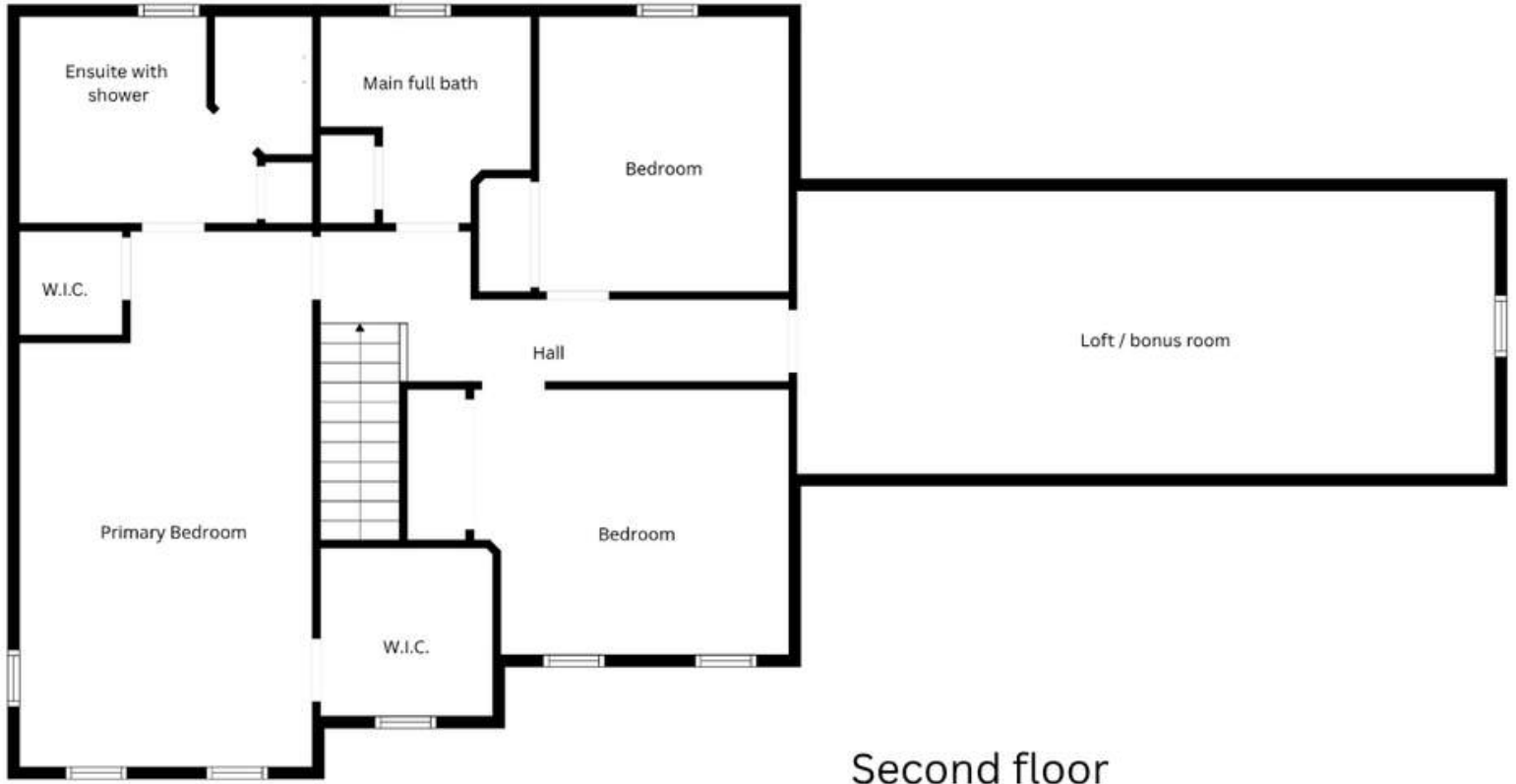
Access to the lake



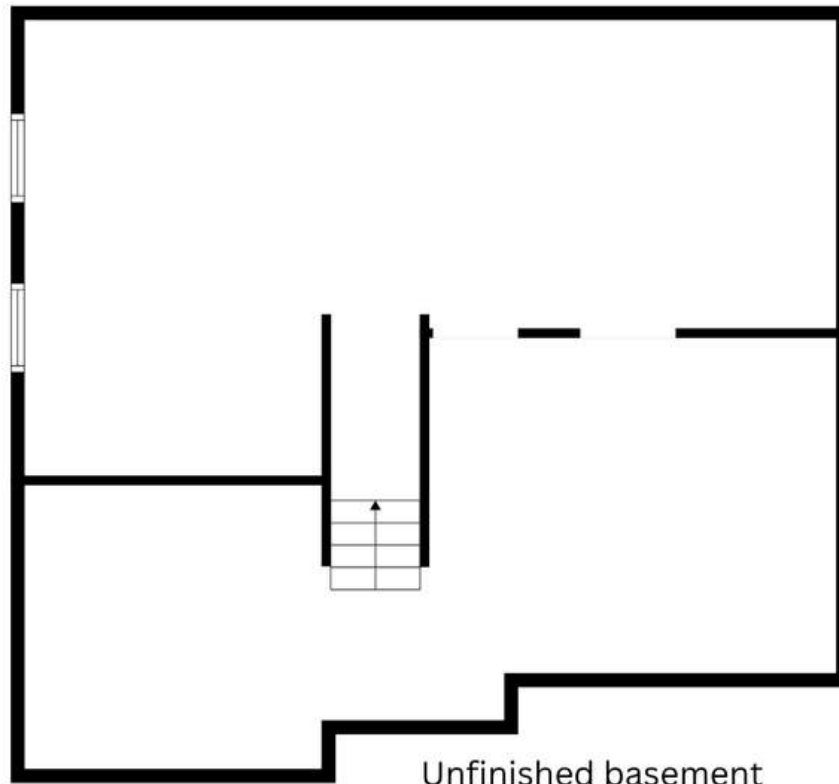
Looking down the lake

Floor plans





Second floor



Unfinished basement

The following documents are attached:

- NS Power history
- Wilson's Fuel history (oil and propane)
- 2004 Drilled well report
- Plot plan (lot 102)
- Lot description with easements
- Restrictive covenants
- Property Disclosure Statement
- Equipment Schedule
- 2026 Receipts for work completed

Billing and Usage History Report



Date: Friday, August 28, 2026

Service Address: 28 CARMEL CRES
FALL RIVER, NS

Equipment Leasing: ☒ NONE Estimated Balance: *
☐ HEAT PUMP \$
☐ ELECTRIC THERMAL STORAGE (ETS) \$
☐ HOT WATER HEATER \$

* Estimate Only. Before HST. Payout balance may differ.

Equipment Rental: ☒ NONE Monthly Rate:
☐ STREET LIGHT \$

Comments:

Note:

As of January 1st 2026, the price per kWh is \$ 0.18187

Year	Month	Days	Usage	\$Billed	Year	Month	Days	Usage	\$Billed
2026	Aug	62	2168	\$ 454.86	2025	Aug		2,419	\$ 487.33
	Jul		0	\$ -		Jul		0	\$ -
	Jun	59	1517	\$ 327.60		Jun		2,263	\$ 458.38
	May		0	\$ -		May		0	\$ -
	Apr	62	2335	\$ 463.01		Apr	57	2,379	\$ 479.91
	Mar		0	\$ -		Mar		0	\$ -
	Feb	61	2886	\$ 565.52		Feb	64	3,712	\$ 706.59
2026	Jan		0	\$ -	2025	Jan		0	\$ -
	Dec	58	1896	\$ 390.26		Dec	56	1,843	\$ 364.61
	Nov		0	\$ -		Nov		0	\$ -
	Oct	127	6136	\$ 308.21		Oct	62	1,902	\$ 375.05
2025	Sep		0	\$ -	2024	Sep		0	\$ -

	Usage	Billed		Usage	Billed
Total:	16,938	\$ 2,509.46	Total:	14,518	\$ 2,871.87

c1_date c2_descrip c3_doc_ c8_vol_ c9_price c10_taxes c11_debit
Wilson Fuel Co. Limited
All Transactions
-- LMN -- 2026.08.17 12:00:00 AM

927473

28 CARMEL CRES

FALL RIVER

B2T1Y9

2024.08.09	Furnace	903292	343.30	1.414	24.27	509.70
2024.11.18	Furnace	900532	490.10	1.444	35.39	743.09
2025.01.08	Furnace	907239	651.20	1.524	49.62	1042.05
2025.02.11	Furnace	906556	598.30	1.624	48.59	1020.23
2025.03.27	Furnace	905678	588.70	1.534	45.15	948.22
2025.06.20	Furnace	906891	507.70	1.524	38.68	812.41
2025.11.04	Furnace	525634	477.30	1.394	33.27	698.63
2025.12.17	Furnace	903960	515.90	1.464	37.76	793.04
2026.01.22	Furnace	908714	573.90	1.464	42.01	882.20
2026.02.26	Furnace	100209	637.50	1.644	52.41	1100.46
2026.04.16	Furnace	900149	633.90	1.974	62.56	1313.88
2026.07.28	Furnace	528496	541.40	2.154	58.31	1224.49
	Total		6559.20			11088.40

2024.10.04	Propane	790816	205.90	1.299	40.13	307.59
	Total		205.90			307.59

2024.08.31	Cylinder	756538			1.04	7.99
2024.09.30	Cylinder	832109			1.04	7.99
2024.10.31	Cylinder	908085			1.04	7.99
2024.11.30	Cylinder	984951			1.04	7.99
2024.12.31	Cylinder	72838			1.04	7.99

2025.01.31	Cylinder	152128	1.04	7.99
2025.02.28	Cylinder	232943	1.04	7.99
2025.03.31	Cylinder	310336	1.04	7.99
2025.04.30	Cylinder	387413	0.97	7.92
2025.05.31	Cylinder	464429	0.97	7.92
2025.06.30	Cylinder	541169	0.97	7.92
2025.07.31	Cylinder	617084	0.97	7.92
2025.08.31	Cylinder	692559	0.97	7.92
2025.09.30	Cylinder	768959	0.97	7.92
2025.10.31	Cylinder	848367	0.97	7.92
2025.11.30	Cylinder	926749	0.97	7.92
2025.12.31	Cylinder	4868	0.97	7.92
2026.01.31	Cylinder	83279	0.97	7.92
2026.02.28	Cylinder	168452	0.97	7.92
2026.03.31	Cylinder	246429	0.97	7.92
2026.04.30	Cylinder	324634	0.97	7.92
2026.05.31	Cylinder	404933	0.97	7.92
2026.06.30	Cylinder	482152	0.97	7.92
2026.07.31	Cylinder	559595	0.97	7.92

NOVA SCOTIA
Environment and Labour



Drilled Well Report

NSDEL Well No.
(Departmental use)

Certified Well Contractor		Well Owner/Contractor Information	
Name <u>PHIL GINGRAS</u>	Well drilled for Owner <u>N/A</u>	or Contractor/Builder/Consultant/Id: <u>WCH Builders</u>	
Certificate No. <u>738</u>	Civic Address of well _____		
Company <u>Brewster Well Drilling</u>	Lot No. and Subdivision of well <u>#102 CARMEL</u>		
Address <u>27 NORMAN BLVD</u>	County <u>HALIFAX</u>	Postal Code _____	Phone _____
<u>HAMMONDS Pt, NS</u>	Nearest Community or NS Atlas L.I. NS Map Book <u>FALL RIVER</u>		
Helper(s) <u>DAN Gionet</u>			

Stratigraphic Log				Well Location	
Depth in feet From To	Colour	General Description of Overburden/Bedrock	Water Festival	Well Sketch	Property (PID)
0 55	Brown	Till, Sand, Boulders	☒		GPS (WGS84 UTM): Northing <u>4963430</u> m
55 180	Grey	Slate	☒		Easting <u>0450237</u> m
			☐		☒ NS Atlas ☐ NS Map Book
			☐		<u>58</u> <u>Y</u> <u>4</u>
			☐		Rowner Code _____
			☐		Rowner Number _____
			☐		
			☐		
			☐		
			☐		
End of Logging: 63'					
Attach Another Sheet if Needed					

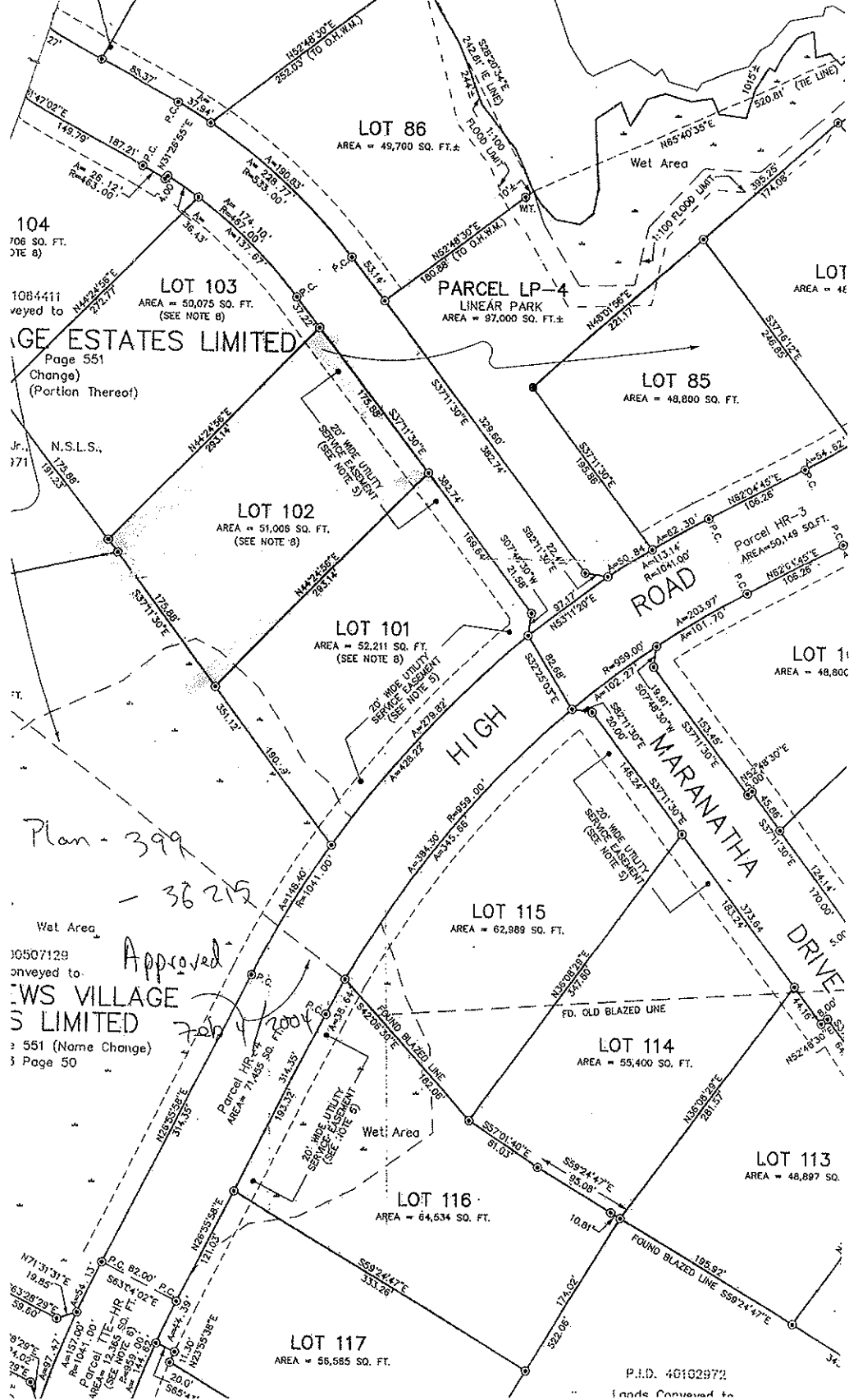
Well Construction Information		Clearance Distance to Nearest		Water Yield	
Total depth below surface <u>182</u> ft	Property line <u>50</u> ft	Building overhang <u>20</u> ft		Method: ☒ Air blown ☐ Bail ☐ Pump	Rate <u>4.5</u> l/min Duration <u>1</u> hrs
Depth to bedrock <u>55</u> ft	Building outer boundary <u>50</u> ft	Roadway outer boundary <u>50</u> ft		Test depth <u>1.80</u> ft	Depth to water at end of test _____ ft
Water bearing fractures or conditions <u>110</u> ft	Head name <u>CARMEL</u>	On-site septic system <u>75</u> ft		Total drawdown _____ ft	Water level recovered in _____ ft
<u>113</u> ft <u>125</u> ft <u>130</u> ft	Off-site septic system <u>150</u> ft	Watercourse <u>N/A</u> ft		by _____ hrs <u>35</u> min	after test ended
Well Casing	From <u>0</u> To <u>63</u> ft	Well <u>N/A</u> ft		Depth to static level <u>40</u> ft	☐ Overflow
Outer Casing	Diameter <u>6.5/8</u> in	Measured in ☒ feet ☐ metres			
From <u>0</u> To <u>63</u> ft	Material: ☒ steel or				
Diameter <u>6.5/8</u> in					
Wall thickness <u>0.188</u> in					
Material: ☒ steel or					
ASTM spec <u>A-589</u>					
Length of casing above ground <u>1</u> ft <u>60</u> in					
☒ Drivestock: make <u>GRE Heavy Duty</u>					
☒ ground type <u>Beatonik</u> ☐ packer make					
Well Finish					
☒ open hole ☐ slotted casing ☐ screen ☐ gravel pack					
Screen: make _____ material _____					
length _____ ft from _____ to _____ ft slot size _____					
length _____ ft from _____ to _____ ft slot size _____					
Gravel pack: size _____ from _____ to _____ ft					

Water Quality			
Colour <u>Clear</u>	Taste <u>NO</u>	Odour <u>N.O</u>	Other _____

Final Status of Well	Water Use	Method of Drilling
☒ Water supply	☒ Domestic	☒ Rotary
☐ Observation Well	☐ Industrial	☐ Cable Tool
☐ Test Hole	☐ Commercial	☐ Jet
☐ Recharge Well	☐ Municipal	☐ Other
☐ Abandoned, insufficient supply	☐ Irrigation	☐ Drilling fluids
☐ Abandoned, poor quality	☐ Public Supply	Type: _____
☐ Abandoned, salt water	☐ Agricultural	
☐ Unfinished	☐ Heat Pump	
☐ Other _____	☐ Other	

Driller's Comments	Certification	Mail to:
<u>Set 1/2 HP Pump @ 170'</u>	I certify that the Well herein described has been constructed in accordance with the Nova Scotia Environment Act.	Nova Scotia Department of Environment and Labour
	Date Well completed: <u>June 15/04</u>	1505 Bedford Highway, Suite 224
	Signature: <u>[Signature]</u>	Bedford, Nova Scotia B4A 3Y4
	Date Signed: <u>June 15/04</u>	

Important Home Owner's Document - Safeguard with legal documents.
Copy distributed: White - NSOPL Casey - Customer Pink - Certified Contractor



104
706 SQ. FT.
(SEE NOTE 8)

1084411
conveyed to
Page 551
(Change)
(Portion Thereof)

N.S.L.S.,
171

Plan - 399
- 36215

Wet Area
10507129
conveyed to
SWS VILLAGE
S LIMITED
551 (Name Change)
Page 50

Parcel TIE-HR
AREA = 11,485 SQ. FT.
(SEE NOTE 8)
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(SEE NOTE 8)

LOT 86
AREA = 49,700 SQ. FT.±

PARCEL LP-4
LINEAR PARK
AREA = 97,000 SQ. FT.±

LOT
AREA = 4E

LOT 85
AREA = 48,800 SQ. FT.

LOT 102
AREA = 51,008 SQ. FT.
(SEE NOTE 8)

LOT 101
AREA = 52,211 SQ. FT.
(SEE NOTE 8)

LOT 1
AREA = 48,800

LOT 115
AREA = 62,989 SQ. FT.

LOT 114
AREA = 55,400 SQ. FT.

LOT 113
AREA = 48,897 SQ.

LOT 116
AREA = 64,534 SQ. FT.

LOT 117
AREA = 58,585 SQ. FT.

P.D. 40102972
Lands Conveyed to

Lot 102
Carmel Crescent

All that certain lot, piece or parcel of land situate, lying and being on the southwestern side of Carmel Crescent, Fall River, Halifax Regional Municipality, Province of Nova Scotia, and shown as Lot 102 on a plan of survey of Lot 75, Parcel LP-4 (Linear Park) and Lots 84 to 118 inclusive, subdivision of lands conveyed to St. Andrews Village Estates Limited, St. Andrews Village Phase 5, dated the 12th day of November, 2003, prepared by Thompson Conn Limited, certified by R.E. Humphreys, N.S.L.S., approved by Halifax Regional Municipality on the 4th day of February, 2004, and being more particularly described as follows:

Beginning at the intersection of the southwestern boundary of Carmel Crescent with the northwestern boundary of Lot 101;

Thence along the northwestern boundary of Lot 101 on a bearing of south 44 degrees, 24 minutes, 56 seconds west for a distance of 293.14 feet to the northeastern boundary of Lot 108;

Thence along the northeastern boundary of Lot 108 and the northeastern boundary of Lot 107 on a bearing of north 37 degrees, 11 minutes, 30 seconds west for a distance of 175.88 feet to the southern corner of Lot 103;

Thence along the southeastern boundary of Lot 103 on a bearing of north 44 degrees, 24 minutes, 56 seconds east for a distance of 293.14 feet to the southwestern boundary of Carmel Crescent;

Thence along the southwestern boundary of Carmel Crescent on a bearing of south 37 degrees, 11 minutes, 30 seconds east for a distance of 175.88 feet to the point of beginning;

Containing an area of 51,006 square feet;

Subject to a 20 foot wide Utility Service Easement for utility poles, wires and clearing rights in favour of N.S.P.I. and Aliant Telecom Inc. (formerly M.T.T.) as shown on the above referred to plan;

Together with a 30 foot wide Private Lake Access Easement over Lot 95 as shown and mathematically delineated on the above referred to plan as Parcel PLAE-95;

Bearings are grid referred to the line between N.S.C.M. 22229 and N.S.C.M. 22230 having a bearing of south 11 degrees, 47 minutes, 38 seconds west and based on the 3 degree M.T.M. projection, central meridian 64 degrees, 30 minutes west longitude (1979 adjustment);

Being and intended to be a portion of those lands conveyed to St. Andrews Village Estates Limited by deed recorded at the Registry of Deeds for Halifax County in Book 2723 at Page 635.



R.E. Humphreys, NSLS
Thompson Conn Limited
April 20, 2004

**PHASE 5 - RESTRICTIVE COVENANTS
ST. ANDREWS VILLAGE
FALL RIVER, HALIFAX REGIONAL MUNICIPALITY, NOVA SCOTIA**

THE GRANTEE, its heirs, executors, administrators, successors, and assigns (hereinafter referred to as "the Purchaser") covenants and agrees with **THE GRANTOR**, its successors and assigns (hereinafter referred to as the "Grantor"), that the Purchaser shall observe and comply with the following restrictions made in pursuance of a building scheme established by the Grantor, upon lands at St. Andrews Village, so-called, located at Fall River, Halifax Regional Municipality, Nova Scotia (hereinafter called "St. Andrews Village"). The burden of these restrictions shall run with the lands described in Schedule "A" attached hereto (hereinafter referred to as the "lands") forever, and the benefit of these restrictions shall run with each of the lots and with each part of the land including any lands dedicated for parkland all located at St. Andrews Village as shown on a Concept Plan by Mac Williams Engineering Limited, dated May, 1998, revised April 9, 1999 and further revised February 6, 2003, and in particular as shown on a Plan of Survey of 75 and Lots 84 to 118 inclusive dated November 12, 2003, prepared by Thompson Conn Limited, approved by Halifax Regional Municipality February 4, 2004 and filed at the Registry of Deeds for the County of Halifax as Plan No. 36215, Drawer No. 399 on February 5, 2004, (the "Plan"). The Grantor and the Grantee do hereby covenant and agree with each other, and, as to the Grantee, with the owner or owners from time to time of any other lot in St. Andrews Village, to observe, perform and comply with the following restrictive covenants, namely:

1. No building, addition, fence or any erection of any kind, or alteration to such building, addition, fence or erection, shall be constructed on the lands other than a single family dwelling house. No construction shall commence on the lands unless the site plan, preliminary building plans, building specifications, including, but not limited to, color and building materials, and the final working drawings shall have first been submitted to the Grantor and the Grantor's approval in writing obtained. No construction shall take place except in strict accordance with the plans and drawings which have been approved by the Grantor. No construction and no buildings shall be placed on the lands except in a location approved in writing by the Grantor and conforming to all codes and regulations of Halifax Regional Municipality and all other applicable governing authorities.
2. No attached or semi-detached building, no mobile homes, log homes, modular and/or pre-constructed homes, duplex or apartment buildings, or any house designed for more than one family (other than for members of an extended family as may be permitted by the Halifax Regional Municipality) shall be erected on the lands and not more than one detached building with or without an attached private garage may be erected on the lands.
3. No development of the lands shall take place except in accordance with the Plan. Any alteration to this Plan will require the prior written approval of the Grantor and the applicable governing authorities.
4. No pre-fabricated metal chimneys may be erected in any building on the lands unless enclosed in a material to match the exterior finish of the building or unless otherwise approved in writing by the Grantor.
5. No more than one building shall be erected or stand at any one time upon any one lot of land in St. Andrews Village.
6. No building, addition, or alteration to building shall be erected on the lands which shall have any of its main walls nearer than thirty (30') feet to the street line in front of the lands upon which the building is erected, or which shall have any parts of the building nearer to another building than twelve (12') feet except where such other building is a garage, or nearer than eight (8') feet to the side line of the lands. Where lands abut on two or more streets, it shall be deemed to front on the street which they abut for the shortest distance and any building must not be less than thirty (30') feet from the street line on which the lands do not front.

7. No building shall be erected or stand upon the lands or any part thereof which shall have a ground floor area of less than:
- (i) 1,400 square feet in the case of a one storey building or split-entry dwelling,
 - (ii) 900 square feet in the case of a building of more than one storey but not a full two stories provided that the total habitable floor area of any such building shall not be less than 1,400 square feet, or
 - (iii) 900 square feet in the case of a building of two stories or more provided that the total habitable floor area of any such building shall not be less than 1,800 square feet.

The measurements for calculations of the areas referred to in this paragraph 7 shall be taken as the outside measurement of the main walls of each building, excluding garage, porch, verandah, sun room, attic and unfinished basement.

8. No re-subdivision or re-zoning of the lands shall be made except for minor alterations to side lines as approved by the Grantor.
9. No building or addition thereto shall be erected on the lands unless its external walls are faced with not less than 50% of brick, stone, tile, terra cotta or other incombustible material unless otherwise approved in writing by the Grantor, acting in its sole arbitrary discretion.
10. No dug well, as opposed to a drilled well, shall be dug or used on the lands and no well shall be drilled, constructed or maintained unless it complies with the requirements of the Provincial Department of Environment or other applicable governing authority.
11. No building shall be sited and no septic tank system installed on the lands except in accordance with the drawings, specifications and siting approved in writing by the Grantor or its authorized engineering consultant and provided the installation of the septic tank system is co-ordinated with the Provincial Department of Environment.
12. No building shall be erected on the lands unless construction shall be commenced within eighteen (18) months after conveyance and construction shall proceed, unless otherwise approved by Grantor, in an orderly and expedient manner to the early completion thereof in conformity with the plans, specifications, and site plan approved in writing by the Grantor.
13. No building or structure shall be erected on the lands within 100 feet of the existing natural shore line of so called "A" Lake.
14. No driveway or building site on the lands may be cleared or excavated until the Grantee or his contractor has met with the Public Health Inspector or qualified person to confirm the design and location of the septic field, well, driveway and building.
15. No excavation shall be made on the lands except excavations for the purpose of building on the lands at the time of commencement of construction or for the purpose of improving the gardens and grounds thereof. No soil, sand or gravel shall be removed from the lands except with the prior written permission of the Grantor.
16. No living tree having a trunk diameter greater than four (4") inches measured one (1') foot from the ground shall be cut down or removed from the lands other than those standing within ten (10') feet of the area to be excavated for the erection of an approved building thereon or within the area of the driveway, septic tank or disposal field without the prior written consent of the Grantor, which shall not be unreasonably withheld.
17. No lands nor any building erected or to be erected thereon shall be used, without the prior written consent of the Grantor, which consent may be arbitrarily withheld, for the purpose

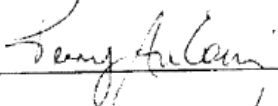
of any profession, trade, employment, service, manufacture, or business of any description, nor as a school, hospital or other charitable institution, nor as a hotel, apartment house, rooming house or place of public resort, nor for any sport (other than such games as are played in connection with the occupants of a private residence) nor are any of the lands or building erected or to be erected thereon shall be a nuisance to the occupants of any neighbouring lands or buildings.

18. No fence or wall shall be erected or maintained on the lands or any part thereof other than an iron or wooden fence of open construction with or without brick or stone foundations, unless approved in writing by the Grantor and no such fence shall be higher than six (6') feet, or be situated within twenty (20') feet of the street line in front of the lands on which said fence is erected or within ten (10') feet of any other street line. Screens for landscaping purposes may be erected upon written approval from the Grantor.
19. No signs, billboards, notices or other advertising matter of any kind (except the ordinary signs offering the lands or the building thereon for sale or rent) shall be placed on any part of the lands without the prior consent in writing of the Grantor.
20. No temporary building, tent, trailer or mobile home of any kind, with or without wheels, shall be placed or permitted to remain on the lands, except that a vacation trailer may stand on the lands provided that such a vacation trailer is not occupied while located on the lands. Tents are permitted in the rear of the building for the enjoyment of children or adults as would be normal in a residential setting. No recreational trailers, tent trailers nor motor homes may be parked so as not to interfere with the view plane from the building to the adjacent street.
21. No part of the lands shall be used to allow access for any motor boat, sea-doo, ski-doo, All-Terrain vehicles, snowmobiles, off-road motorized vehicles or motorcycles to the roads or parklands of St. Andrews Village, nor to "A" Lake, nor to parklands owned by Halifax Regional Municipality, nor to Black Brook, in order to preserve the quiet, natural setting and natural wildlife habitating in the area.
22. The Grantee shall be responsible for all aspects of installation of water hookup if and when required.
23. The Grantee consents to the construction of sidewalks, pavements, curbs, sewers, water mains, and any other local improvements which may be petitioned for.
24. No landscaping of the lands surrounding any building erected on the lands shall remain uncompleted for more than six (6) months after completion of the construction of the building located on the lands, specifically, lands to the front, rear and sides of the building disturbed during construction shall be sodded and landscaped to the standards of a first-class residential neighbourhood and in accordance with the requirements of the Provincial Department of Environment; in addition, lands between the street line(s) and ditch(es) abutting the Grantee's property shall be landscaped by the Grantee at its expense and lands undisturbed during construction and not mentioned above shall remain in a natural state.
25. No part of the lands may be used for the storage or dumping of refuse, building waste, car bodies or other material of any kind except clear earth for the purpose of leveling in connection with the erection of a building thereon or the immediate improvement of the lands.
26. No lands shall be used for major repairs to any motor vehicle, boat, or trailer except within a wholly-enclosed garage.
27. No lands shall be used for incineration or other refuse burning without the prior written approval of the Grantor.

28. No clothes lines or drying yards shall be located between the street lines and the face of any building erected on the lands.
29. No truck or heavy vehicle may be stored anywhere on the lands other than in an enclosed garage or in an area screened from the street and from the abutting lands.
30. No horses, cattle, hogs, sheep, poultry or other stock animals other than household pets normally permitted in private homes in suburban residential areas shall be kept upon the lands. No breeding of pets for sale shall be carried on upon the lands. No dog houses, enclosures or pens for household pets shall be permitted between the street line and the face of the building on the lands.
31. No part of the lands shall be used to prevent the erection or installation and maintenance at the front, rear or side of any part of the lands of electric, telephone and/or television poles, lines and equipment, and guys and anchors in connection therewith, and underground cables, all for common use with all necessary access from time to time for persons furnishing, maintaining and repairing the same.
32. The Grantor may alter, waive or modify any of the foregoing restrictions at any time.

The Grantee acknowledges having read and agrees with the foregoing Restrictive Covenants and the Grantee hereby agrees that any further conveyance of these lands shall be subject to these Restrictive Covenants, which are covenants running with these lands and are for the benefit of the other lands in St. Andrews Village.

WITNESS



DATE:

June 29th/04

GRANTEE(S)



PROPERTY DISCLOSURE STATEMENT (PDS)

This Statement is attached to and forms part of the Seller Brokerage Agreement/Seller Designated Brokerage Agreement.
Approved by the Nova Scotia Real Estate Commission (NSREC) for use by licensees under the *Nova Scotia Real Estate Trading Act*.
The NSREC is the regulatory body for real estate in Nova Scotia.

This Property Disclosure Statement (PDS) is optional and is to be completed by the Seller to the best of their knowledge. The Seller is responsible for the accuracy of the information on this PDS. If a seller wants to disclose information about multiple parts of a property, they should complete separate PDSs for the different components of a property to ensure accurate disclosure. However, if the answers are the same for all components of buildings, on the property, the Seller may complete one form, identifying all components included. If additional space is required for responses, attach a schedule. If changes to the property conditions occur prior to closing, the Buyer will be notified in writing.

Property Address: 28 Carmel Crescent Fall River NS B2T 1Y9 PID(s)/ Serial #: 41116062

Seller: _____

The Seller confirms the disclosures provided in this PDS applies only to the selected buildings or structures on the property:

☒ Main House ☐ Guest House ☐ Detached Garage ☐ Barn ☐ Shed ☐ Land ☐ Other: _____

I/We have owned the Property since: December 2009

1. Structural

1.1. Are you aware of any structural problems, unrepaired damage, dampness or leakage? ☐ Yes ☒ No

If yes, provide details: _____

1.2. Are you aware of any repairs to correct structural damage, leakage or dampness problems? ☒ Yes ☐ No

If yes, provide details: Roof replaced 2022

Basement wall professionally repaired before we purchased

1.3. Is there insulation in the exterior walls? ☒ Yes ☐ No ☐ Do not know

Type: Fibreglass

1.4. Is there insulation in the attic/roof? ☒ Yes ☐ No ☐ Do not know

Type: Fibreglass

1.5. What is the age and type of roof?

Age: 4 years (2022) ☐ Do not know

Type: Asphalt shingles ☐ Do not know

Are you aware of any repairs or upgrades made to the roof?

☒ Yes ☐ No ☐ Does not apply

If yes, provide details: Replaced in 2022

2. Heating and Cooling Sources

2.1. What is the primary heat source and unit age, if known?

Source: Oil fired hot water baseboard Age: 23 ☐ Do not know

If applicable, what are the alternative heat source(s) and unit age(s), if known?

Source: Propane fireplace Age: _____ ☒ Do not know

Source: _____ Age: _____ ☐ Do not know

Source: _____ Age: _____ ☐ Do not know

2.2. If there is an oil tank, what date is stamped on the plate/sticker?

The _____ day of _____, 2003.

What is the type of oil tank? ☒ Steel ☐ Fiberglass

What is the tank size? _____

Where is the oil tank located? ☒ Indoor ☐ Outdoor

2.3. If there is a wood stove/fireplace, was the insert(s) properly installed by certified personnel? ☐ Yes ☐ No ☐ Do not know ☒ Does not apply

If there is a woodstove/fireplace, is it WETT certified?

☐ Yes ☐ No ☐ Do not know

If yes, will documentation be provided to the Buyer? ☐ Yes ☐ No

2.4. If there is a chimney, are you aware of any problems or malfunctions with the chimney? ☐ Yes ☐ No ☒ Does not apply

If yes, provide details: _____

Is there a liner in the chimney? ☐ Yes ☐ No ☐ Do not know

If yes, what is the type of liner? _____

When was the chimney last cleaned? _____

2.5. Is there is a water heater on the property?

☐ Yes ☒ No

If yes, what is the age? _____ ☐ Do not know

If yes, what is the energy source? _____

2.6. Are you aware of any problems and/or malfunctions with the heating/cooling sources? ☒ Yes ☐ No If yes, provide details: _____

Kitec piping for hot water baseboard system - we have not had problems

2.7. Are you aware of any repairs or upgrades having been carried out to the heating/cooling sources? ☐ Yes ☒ No

If yes, provide details: _____

3. Mechanical

3.1. Are you aware of any problems or malfunctions with motors, pumps, purifiers, air exchangers, built-in appliances or other items not listed? ☐ Yes ☒ No

If yes, provide details: _____

4. Electrical System

4.1. Are you aware of any problems and/or malfunctions with the electrical system?

☐ Yes ☒ No ☐ Does not apply

If yes, provide details: _____

4.2. Are you aware of any repairs or upgrades carried out to the electrical system?

☐ Yes ☒ No ☐ Does not apply

If yes, provide details: _____

PROPERTY: 28 Carmel Crescent

Fall River

NS B2T 1Y9

5. Plumbing System

5.1. Are you aware of any problems and/or malfunctions with the plumbing system?

☐ Yes ☒ No ☐ Does not apply

If yes, provide details: _____

5.2. Are you aware of any repairs or upgrades to the plumbing system?

☐ Yes ☒ No ☐ Does not apply

If yes, provide details: _____

6. Water Supply

6.1. What is the source of the water supply?

☐ Municipal ☒ Drilled Well ☐ Dug Well ☐ Shared ☐ None☐ Other: _____6.2. Are you aware of any problems with water quality, quantity, taste, odour, colour or water pressure? ☐ Yes ☒ No

If yes, provide details: _____

6.3. Is there a water conditioner or treatment system attached to the water supply?

☒ Yes ☐ No ☐ Does not applyIf yes, provide details on what the system treats:
Do not knowDoes the treatment system treat all household water? ☒ Yes ☐ NoIf no, which tap(s): We also have an osmosis on kitchen island sink only

6.4. If there is a well:

a) Is a well certificate available? ☒ Yes ☐ No ☐ Do not knowIf yes, will documentation be provided to the Buyer? ☒ Yes ☐ No

b) Where is the well physically located?

☒ On the property ☐ On another property (specify below)☐ Do not know Provide details: Front garden bedc) Is the well shared? ☐ Yes ☒ No ☐ Do not knowIf shared, is there deeded access or a documented agreement related to the well? ☐ Yes ☐ No ☐ Do not know

If yes, provide details: _____

7. Sewage Disposal (Municipal and Septic)

7.1. What is the type of sewage disposal?

☐ Municipal ☒ Septic system ☐ Holding tank ☐ None☐ Other: _____

7.2. What is the age of the sewage disposal selected in clause 7.1?

Age: 23 years ☐ Do not know

7.3. Where is the sewage disposal and/or clean out located?

Back right corner of house - risers are visible

7.4. Are you aware of any problems and/or malfunctions with the sewage disposal?

☐ Yes ☒ No ☐ Does not apply

If yes, provide details: _____

7.5. Are you aware of any repairs or upgrades to the sewage disposal?

☒ Yes ☐ No ☐ Does not applyIf yes, provide details: Risers were added in 2024 as well as lift pump replacedIf yes, will supporting documentation of the repairs or upgrades be provided to the Buyer? ☒ Yes ☐ No If no, provide details: _____We can provide the invoice.

7.6. If not municipal:

a) If applicable, what date was the system last pumped and by whom?

Hilchie, May 31, 2024; proof of payment available if requested.b) Is there septic disposal documentation available? ☐ Yes ☒ NoIf yes, will a copy be provided to the Buyer? ☐ Yes ☒ No**8. Environmental and Land**8.1. Have you ever tested the Property for radon gas? ☐ Yes ☒ No

If yes, provide details: _____

8.2. Are you aware of any underground oil tanks on the Property? ☐ Yes ☒ No

If yes, provide details: _____

8.3. Are you aware of any environmental problems or soil contamination of any kind having occurred on the Property, such as toxic waste, gasoline, fuel tanks, fuel leaks, mould, asbestos, the existence of any mining operations, buried garbage/debris, decommissioned sewage disposal or abandoned wells? ☐ Yes ☒ No

If yes, provide details: _____

8.4. If the Property was contaminated, can you provide an Environmental Report and Certificate of Compliance to the Buyer? ☐ Yes ☐ No8.5. Are you aware of any gas stations, refuse disposal sites, toxic substance storage sites, salvage yards or other pollutant source that abutted or was in close proximity to the Property? ☐ Yes ☒ No

If yes, provide details: _____

8.6. Are you aware of any damage or hazards due to wind, fire, water/flooding, erosion, sinkholes, natural disaster, wood rot, pests, rodents or insects?

☐ Yes ☒ No If yes, provide details: _____

8.7. Is the Property located on or near a floodplain or designated flood zone?

☐ Yes ☒ No ☐ Do not know8.8. Has there been damage to the property due to coastal flooding or coastal erosion? ☐ Yes ☒ No ☐ Do not know

If yes, provide details: _____

8.9. Are you aware of any changes made to the property to help manage coastal flooding and/or coastal erosion? ☐ Yes ☐ No ☒ Does not apply

If yes, provide details: _____



PROPERTY: 28 Carmel Crescent

Fall River

NS B2T 1Y9

- 8.10. Are you aware of the property ever experiencing any other flooding, pooling, or having drainage issues? ☐ Yes ☒ No

If yes, provide details: _____

- 8.11. Is the Property located in a watershed district?

☐ Yes ☐ No ☒ Do not know

If yes, provide details: _____

- 8.12. Have you filed an insurance claim for property damage in the last five (5) years?

☐ Yes ☒ No If yes, provide details: _____

9. Use Restrictions, Zoning and Permits

- 9.1. Does the Property conform with municipal by-laws and regulations?

☒ Yes ☐ No ☐ Do not know

- 9.2. Does the Property conform with the existing zoning?

☒ Yes ☐ No ☐ Do not know

If no, provide details: _____

- 9.3. Have you, as the current owner, obtained the necessary permit(s) for improvements on the Property?

☐ Yes ☐ No ☐ Do not know ☒ Does not apply

If no, provide details: _____

- 9.4. Has the Property received heritage property designation?

☐ Yes ☒ No ☐ Do not know

If yes, will written supporting documentation be provided to the Buyer?

☐ Yes ☐ No

- 9.5. Are you aware of any limitations with the Property including, but not limited to: restrictive or protective covenants, easements, rights of ways, driveway

agreements, or encroachments on or by adjoining properties?

☒ Yes ☐ No If yes, provide details: Restrictive covenants;

Easements by NS Power and Aliant Telecom Inc.; We have access to the lake via the park across the street from the house.

If yes, will supporting documentation be provided to the Buyer? ☒ Yes ☐ No

- 9.6. Are you aware of any public projects or real estate developments planned in close proximity to the Property, such as road widening, new highways, or expropriations? ☐ Yes ☒ No

If yes, provide details: _____

10. Condominiums (if Applicable)

- 10.1. Are you aware of any repairs or potential repairs being investigated or carried out by the Condominium Corporation or on behalf of the Condominium Corporation in relation to the common elements or any unit in the Condominium Corporation? ☐ Yes ☐ No

If yes, provide details: _____

- 10.2. Are you aware of any special assessments being made, to be made, or being discussed by the Condominium Corporation? ☐ Yes ☐ No

If yes, provide details: _____

11. Warranties and Financial Obligations

- 11.1. Is there any ongoing financial obligations related to the Property that the buyer will be responsible for? ☐ Yes ☒ No

If yes, provide details: _____

- 11.2. Is there a new home warranty? ☐ Yes ☒ No

Expiry date: The _____ day of _____, 20_____.

- 11.3. Are there any other warranties? ☐ Yes ☒ No

If yes, are the warranties transferable and will documentation be provided?

☐ Yes ☐ No

12. Seller's Signature

The information contained in this PDS has been provided to the best of the Seller's knowledge. The Seller confirms receipt of a true copy of the PDS and agrees that it may be given to prospective Buyers. The Seller further agrees to provide prospective Buyers with a further written disclosure of any changes in the condition of the Property that have occurred since the completion of this PDS.

Signed and delivered in the presence of:

In Witness whereof I have hereunto set my hand:

Witness _____

Seller _____

Date _____

Witness _____

Seller _____

Date _____

13. Buyer's Signature

NOTICE: The information contained in this Property Disclosure Statement has been provided by the Seller of the Property and is believed to be accurate. The Buyer is urged to carefully examine the Property and have it inspected by an independent party or parties to verify the above information.

The Buyer acknowledges having read and received a copy of this PDS.

Signed and delivered in the presence of:

In Witness whereof I have hereunto set my hand:

Witness _____

Buyer _____

Date _____

Witness _____

Buyer _____

Date _____

This Schedule for the Property known as: 28 Carmel Crescent Fall River NS B2T 1Y9 PID(s)/Serial #: 41116062
identifies the financed/leased/rented equipment located on the Property. The Seller is to provide this Schedule and copies of all financed/leased/rented equipment contracts to their Brokerage.

Seller to complete ALL applicable sections in the table below:

Equipment	Financing/Leasing/Rental Company	Term	Expiry Date	Amount (inc. HST)/ Payment Frequency
Furnace/Boiler				
Heat Pump				
Hot Water Tank				
Propane Tank	Wilson's Heating	Ongoing	N/A	\$7.92/month incl HST
Security System				
Area/Yard Light				
	NOTE: Current propane tank was installed in 2018. Wilson's			
	says the tank should be replaced every 10 years. They also			
	noted that the price for the contract may change slightly for			
	a buyer taking over the lease.			

Comments:

1. Assumption, Payouts or Removal

1.1. The Seller authorizes their Brokerage to provide this Schedule to prospective buyer(s). The Seller further agrees to immediately disclose, in writing, any changes to the above information.

1.2. The disposition of any financed/leased/rented equipment shall be as follows:

- a) ☒ Buyer to assume: Buyer agrees to contact Wilson's Heating at 902-429-4545 to confirm lease price
- b) ☐ Seller to pay out: _____
- c) ☐ Seller to remove: _____

DATE: ____/____/____ SELLER'S INITIALS: ____/____

NOTICE: The information contained in this Schedule has been provided by the Seller of the Property and is believed to be accurate. However, the Brokerage, its licensees and the NSREC assumes no responsibility or liability for its accuracy.

2. Buyer Acknowledgement and Disposition

2.1. The Buyer agrees that the disposition of the equipment as indicated in clause 1.2 is either:

- a) ☐ acceptable;
OR
b) ☐ to be as follows (if an accepted Agreement is in place, any changes to this Equipment Schedule shall be made by Amendment):

DATE: ____/____/____ DATE: ____/____/____

BUYER'S INITIALS: ____/____ SELLER'S INITIALS: ____/____

BERRY'S FURNITURE ELMSDALE
238 PARK RD
ELMSDALE, NS
B2S0G2
PHONE: (902) 222-1228
FAX: (902) 259-2541

HST NO 100485747
PST NO 100485747
REPRESENTATIVE SC

DATE Sep 16 2026 12 57pm
INVOICE NO E:189218
BRANCH 2
TERMINAL ELMS POS1
ENTERED BY S CLONEY (SG)
TYPE SALE



SOLD TO:

28 CARMEL CRESCENT
FALL RIVER, NS
B2T 1Y9 CAN

NOTES:

Delivery Thurs. Sept 17th

QTY	ITEM NO.	DETAIL	NAME	SERIAL NO.	PRICE TAX	AMOUNT
1	32704	YWSES5030SZ	WHIR RANGE		2149.00 TN	2149.00
1	30016	MAY	WHIRLPOOL		-700.00 TN	-700.00
1	28463	WRQA59CNKZ	WHIRL FRID		3199.00 TN	3199.00
1	30016	MAY	WHIRLPOOL		-1400.00 TN	-1400.00
1	30027	DELI	DELIVERY		0.00 TN	0.00

Thank-you for Shopping at
BERRY'S FURNITURE (Elmsdale) LTD

25% RESTOCKING FEE ON SPECIAL ORDER ITEMS
YOU ARE REQUIRED TO PROVIDE THIS RECEIPT FOR WARRANTY PURPOSES
Email us at elmsdalesales@berrysfurniture.ca

Tender
VISA

Amount
3702.72

SUB TOTAL 3248.00
HST: 454.72
PST: 0.00
TOTAL \$3,702.72
TOTAL TENDERED 3702.72
CHANGE DUE \$0.00



Flavia'sCleaning, HST 770559227, hello@flaviascleaning.ca
9024991211/9028091650
35 Walsh Court
Halifax NS B3N 3G8

Billed To

28 Carmel Crescent, Fall River

Date of Issue

2026-09-16

Due Date

2026-09-16

Invoice Number

0001408

Amount Due (CAD)

\$530.78

Description	Rate	Qty	Line Total
5670 Inglis apart. 4 Full move out cleaning 3,levels plus garage	\$120.00 +HST, 0%	3	\$360.00
1 hour travel	\$120.00 +HST	1	\$120.00

Subtotal	480.00
3% Discount	-14.40
HST (14%)	65.18
0% (0%)	0.00

Total	530.78
Amount Paid	0.00

Amount Due (CAD) **\$530.78**

Notes

For payment send etransfer for hello@flaviascleaning.ca



Dads Cleaning
ryandarryl9@gmail.com | (902) 580-3900

Invoice #1251

Issue date
Sep 17, 2026

Invoice #1251

Customer

28 Cemel Cr
Fall River NS

Invoice Details

PDF created September 17, 2026
\$524.40

Payment

Due September 17, 2026
\$524.40

Items	Quantity	Price	Amount
Custom amount <i>Exterior House Wash – Soft Wash</i>	1	\$460.00	\$460.00

Complete exterior house wash using a professional low-pressure soft-wash system and proper cleaning chemistry. Removes dirt, algae, mildew, moss, and surface buildup while safely cleaning the exterior without high-pressure washing.

Includes: Exterior siding, accessible exterior surfaces, and a thorough rinse.

Professional soft-wash cleaning — safe, effective, and designed to restore the appearance of your home.

Please let us know if anything was missed—we're always happy to come back and make it right!

Subtotal	\$460.00
Hst	\$64.40

Total Paid **\$524.40**

Payments

Sep 17, 2026 (Visa 4742) \$524.40



View online

To view your invoice go to <https://squareup.com/u/QghrloH2>
Or open the camera on your mobile device and place the QR code in the camera's view.



Evolution Water Testing & Treatment

Life starts with water.

731 Rosemary Drive
Middle Sackville, Nova Scotia B4E 3N9
(902) 252-3363 / (902) 220-6886
info@evowater.ca

Invoice

DATE	07/28/2026
INVOICE#	125186
TERMS	Due Upon Receipt

BILL TO
28 Carmel Crēs Fall River Nova Scotia B2T 1Y9

SERVICE LOCATION
28 Carmel Crēs Fall River Nova Scotia B2T 1Y9

JOB#	DATE	PO/REF#	DESCRIPTION
1092139485	07/28/2026		Diagnostic service call Labour at \$97 + tax per hour + Filters for Reverse Osmosis System (unknown model) Completion Notes: Existing ge (440i) greensand filter, softener and purge (5 stage) reverse osmosis. Greensand filter and softener from (2005). No potassium permanganate has been added for unknown time. Replaced screen cap assembly and injector due to poor condition. Softener injector and screen cap assembly in fair condition - cleaned and reused. Softener has lots of salt - tested cycles on both systems with no problems found. Replaced all filters in existing reverse osmosis system.. pressure tested system for any drips - none found. Tightened to tap.

Job Charges	Qty	Rate	Total
Diagnostic/Call Out Service Fee	1.00	\$97.00	\$97.00
Diagnostic/Call Out Service Fee			
Labour	1.00	\$97.00	\$97.00
GE Screen Cap Assembly For existing (2005) greensand system	1.00	\$15.95	\$15.95
1032972 - C SIZE INJECTOR - RED For existing (2005) greensand system	1.00	\$22.50	\$22.50
RO - Membrane Standard For 5 stage ro	1.00	\$105.00	\$105.00
Carbon Polishing Filter - RO For reverse osmosis	1.00	\$24.95	\$24.95
Filter 1 Micron Sediment 2.5" x 10" For reverse osmosis	1.00	\$10.00	\$10.00
Filter 5 Micron Sediment 2.5" x 10" For reverse osmosis	1.00	\$10.00	\$10.00
Carbon Filter Block 2.5" x 10" - 5 Micron For reverse osmosis	1.00	\$20.00	\$20.00
Job Subtotal			\$402.40
HST NS 2025		14.00%	\$56.34
Job Total			\$458.74

PRE-WORK SIGNATURE

POST-WORK SIGNATURE

Signed By:

Signed By:

CUSTOMER MESSAGE

Want to pay by EFT - Electronic Funds Transfer?
Send to: info@evowater.ca
No password required - Set Up as Auto-Deposit
Place Invoice number or address in message details.
HST#83941 3028RT

Invoice Total:	\$458.74
Deposits (-):	\$0.00
Payments (-):	\$0.00
Total Due:	\$458.74



Benoit Electric Limited

1268 St Margaret's Bay Rd, Unit 200
Beechville, Nova Scotia B3T 1A7
Canada

Phone: (902) 876-0904

www.benoitelectric.ca

INVOICE

Invoice No.: 44167

Date: Jul 10, 2026

Job Location:

28 Carmel Cres.
Fall River, Nova Scotia
Canada

Bill To:

28 Carmel Cres.
Fall River, Nova Scotia
Canada

Cell:

Home:

Work:

Fax:

Email:

Business No.: 87197 6353 RT0001

Description	Tax code	Amount
Removed 4 existing outside light fixtures, installed 4 new customer supplied light fixtures. Removed 3 existing smoke alarms, supplied and installed 3 new smoke alarms. Removed 2 existing ceiling fans, installed 2 new customer supplied ceiling fans.		
Labour and Material	H3	451.14
Truck charge	H3	30.00
*****ADDITIONAL INFORMATION*****		
WARRANTY - Benoit Electric warrants that material supplied and installed by Benoit Electric shall be free from defects in material and workmanship resulting from normal use for a period of one (1) year from the date of install. This warranty does not extend to outside GFI outlets, photocells or any material that has been repaired by others, altered, misused or that has not been properly maintained. Material supplied by Benoit Electric but installed by others voids this warranty.		
PAYMENT TERMS - Due upon receipt		
PAYMENT METHODS - Accepted methods of payment are cheque, email transfer and credit card. Email transfers can be sent to payments@benoitelectric.ca.		
H3 - HST 14.00% HST		67.36
Shipped By: Tracking Number:		
Comment: Payment due upon receipt via cash, cheque, credit card or email transfer.	Total Amount	548.50
Electrician: Parker, Clayton		



Invoice

Reference No.: ARI00020904
Date: 07/28/2026
Due Date: 08/27/2026
Customer ID: C116620
HST#: 105702096RT0001

BILL TO:

28 CARMEL CRESCENT
FALL RIVER, NS B2T 1Y9

SERVICE ADDRESS:

28 CARMEL CRESCENT
FALL RIVER, NS B2T 1Y9

INVOICE DETAILS

CUSTOMER REF. NUMBER**TERMS**

30 Days

INVOICE DESCRIPTION

CHECKOVER OF VENMAR HRV AS CUSTOMER IS SELLING HOUSE

NO.	PRODUCT	DESCRIPTION	QTY.	UOM	UNIT PRICE	PRICE	EXT. PRICE
1	MINCALLR	MINIMUM CALL FEE (1HR + 1/2HR TRVL) RESIDENTIAL	1.00	EACH	225.0000	225.00	225.00

NOTE: 07/16/26

Dismantle hrv and remove core/filters
Clean cabinet
Clean filters
Apply foam cleaning solution to core
Re assemble
Test motor and damper operations
Test hrv control response

(All operational)

Sub Total 225.00**HST** 31.50**Total:** **\$256.50**

SDM Landscaping
35 Sidhu Drive | Beaver Bank, Nova Scotia B4G 1B8
9028308236 | sdmlandscapingservices@gmail.com |
<https://www.sdmlandscapingservices.ca/>

RECIPIENT:

28 Carmel Crescent
Fall River, Nova Scotia B2T 1Y9

Invoice #216	
Issued	Jul 21, 2026
Due	Jul 28, 2026
Paid	Jul 21, 2026
Total	\$3,055.20
Account Balance	\$0.00

For Services Rendered

Product/Service	Description	Qty.	Unit Price	Total
Mulch Application	Application of mulch to garden beds, including delivery and spreading.	8	\$160.00	\$1,280.00
Landscaping fabric	Roll of landscaping fabric	1	\$200.00	\$200.00
Spring Cleanup	General cleanup of property including removal of leaves, debris, and trimming of plants.	1	\$1,200.00	\$1,200.00

Thank you for your business. Please contact us with any questions regarding this invoice.

HST 773315726RT0001

Subtotal	\$2,680.00
HST (14.0%)	\$375.20
Total	\$3,055.20
Paid	– \$3,055.20
Invoice balance	\$0.00
Account balance	\$0.00

LEE CASTLE PLUMBING LTD.

HST #867600611

21 Holland Road

FLETCHERS LAKE, N.S. B2T 1J3

Tel. (902) 860-1640 Fax: (902) 860-0270

www.leecastleplumbingltd.com

leecastleplumbing@ns.aliantzinc.ca

SERVICE ORDER / INVOICE

TELEPHONE	DATE OF ORDER July 10, 2026
FAX	CUSTOMER ORDER NUMBER
ORDER TAKEN BY	☐ DAY WORK ☐ CONTRACT ☐ EXTRA
JOB NAME/NUMBER	
JOB LOCATION	
JOB TELEPHONE	STARTING DATE

TO

28 Carmel Cres
Fall River

QUANTITY	MATERIAL	PRICE	AMOUNT	DESCRIPTION OF WORK
6	20" supply lines	8 09	48 54	Installed 3 customer supplied basin sinks and taps. Installed customer supplied kitchen faucet. Repaired the mounting plate on the hose bibb. Tested
paying via e-transfer				
				OTHER CHARGES
				Shop supplies
				AMOUNT
				15 00
				TOTAL OTHER
				15 00
				LABOUR
				HOURS RATE AMOUNT
				2 people time 3 187.50 562 50
				4 travel
				TOTAL LABOUR
				562 50
				TOTAL OTHER
				15 00
				TOTAL MATERIAL
				48 54
				SUBTOTAL
				626 04
				HST / GST
				87 65
				Fuel
				10 00
				PST
				TOTAL
				723 69

DATE COMPLETED

TOTAL MATERIAL

48 54

TERMS

Our preferred choice of payment is e-Transfer if paying with a credit card, a 2% Processing Fee also applies.

SIGNATURE

WORK ORDERED BY

Kerry/Nate

I hereby acknowledge the satisfactory completion of the above described work.

THANK YOU

CENTURY 21[®]

Trident Realty Ltd.



**Call your agent today for a viewing or reach out directly
with any questions!**

Susan Eldridge

REALTOR[®]

Cell: 902-478-1928

susan@yourhalifaxrealtor.ca

www.YourHalifaxrealtor.ca

facebook.com/halifaxdartmouthhomes

Instagram: @YourHfxRealtor



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